

RESOLUTION NO. 2024-103

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF JURUPA VALLEY APPROVING GENERAL PLAN AMENDMENT NO. 16001, ADOPTING SPECIFIC PLAN (SP16001) AND REPEALING SPECIFIC PLAN NO 243, AND APPROVING TENTATIVE TRACT MAP NOS. 37074 AND 38639 TO PERMIT THE DEVELOPMENT OF UP TO 1,697 NEW RESIDENTIAL UNITS, 1,269,774 SQUARE FEET OF LIGHT INDUSTRIAL LAND USE, 1,428,768 SQUARE FEET OF BUSINESS PARK LAND USE, 510.8 ACRES OF NATURAL OPEN SPACE, 14.3 ACRES OF PARK AND RECREATIONAL AMENITIES, AND 13.4 ACRES FOR A PUBLIC SCHOOL SITE GENERALLY LOCATED NORTH OF STATE ROUTE 60, BETWEEN ARMSTRONG ROAD AND RUBIDOUX BOULEVARD (RIO VISTA PROJECT)

THE CITY COUNCIL OF THE CITY OF JURUPA VALLEY DOES RESOLVE AS FOLLOWS:

Section 1. **Project.** Richmond Planned Communities (the “Applicant”) has applied Master Application No. 16054 (MA No. 16054) which consists of General Plan Amendment No. 16001; Specific Plan No. 16001 replacing the existing Rio Vista Specific Plan No. 243 that was adopted by the County of Riverside with new land planning areas, objective design and development standards and development plans; Development Agreement No. 16001; and Tentative Tract Map Nos. 37074 and 38639 to allow the development of up to 1,697 new residential units on 204.4 acres, 1,269,774 square feet of light industrial land use on 58.3 acres, 1,428,768 square feet of business park land use on 82 acres, 510.8 acres of natural open space, 14.3 acres of park and recreational amenities and 13.4 acres of public school site (the “Project”). The Project site consists of approximately 917.3 acres and is located north of State Route (SR) 60, between Armstrong Road and Rubidoux Boulevard. General Plan Amendment No. 16001, Specific Plan No. 16001, and Tentative Tract Map Nos. 37074 and 38639 are the subject matter of this Resolution. Development Agreement No. 16001 is the subject matter of a separate Ordinance.

Section 2. **Procedural Findings.**

(a) The application for Master Application (MA) No. 16045 was processed including, but not limited to, a public notice in the time and manner prescribed by State law and Jurupa Valley Ordinances.

(b) On June 26, 2024, the Planning Commission of the City of Jurupa Valley held a public hearing on MA No. 16045 at which time all persons interested in the Project had the opportunity and did address the Planning Commission on these matters. The Planning Commission hearing was subsequently continued to July 10, 2024 and July 24, 2024 where staff, the Applicant, and the public had an opportunity and did address the Planning Commission regarding the project. Following the receipt of public testimony on July 24, 2024, the Planning

Commission closed the public hearing, and voted 4-1 to adopt Resolution No. PC-2024-15 recommending that the City Council approve the Project.

(c) Pursuant to the California Environmental Quality Act (“CEQA”) (Cal. Pub. Res. Code § 21000 *et seq.*) and the State CEQA Guidelines (the “Guidelines”) (14 Cal. Code Regs. § 15000 *et seq.*), City staff prepared an Initial Study of the potential environmental effects of the approval of the Project as described in the Initial Study. Based upon the findings contained in the Initial Study, City staff determined that an Environmental Impact Report (“EIR”) should be prepared. An EIR was prepared (SCH # 2016051062) for the Project.

(d) On August 15, 2024, the City Council of the City of Jurupa Valley opened the public hearing and continued the hearing to September 5, 2024. On September 5, 2024 held a duly noticed public hearing on the proposed Project including General Plan Amendment No. 16001; Specific Plan No. 16001 replacing the existing Rio Vista Specific Plan No. 243 that was adopted by the County of Riverside with new land planning areas, objective design and development standards and development plans; Development Agreement No. 16001; and Tentative Tract Map Nos. 37074 and 38639, and the EIR, Findings, Mitigation Monitoring and Reporting Program, and Statement of Overriding Considerations, at a duly noticed and conducted public hearing at which time all interested persons had an opportunity to and did testify either in support or in opposition to this matter. The City Council considered all the testimony and any comments received regarding the proposed Project, the EIR, Findings, Mitigation Monitoring and Reporting Program, and Statement of Overriding Considerations prior to adopting this Resolution.

(e) Following the public hearing, the City Council adopted Resolution No. ____ “A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF JURUPA VALLEY CERTIFYING AN ENVIRONMENTAL IMPACT REPORT, MAKING FINDINGS, AND ADOPTING A STATEMENT OF OVERRIDING CONSIDERATIONS AND A MITIGATION MONITORING AND REPORTING PROGRAM FOR GENERAL PLAN AMENDMENT NO. 16001, SPECIFIC PLAN (SP16001) INCLUDING SPECIFIC PLAN NO. 243, A DEVELOPMENT AGREEMENT BY AND BETWEEN THE CITY OF JURUPA VALLEY, CANADIAN PACIFIC LAND, LLC, A FLORIDA LIMITED LIABILITY COMPANY, RMD INLAND INVESTORS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND MV AVALON, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AND TENTATIVE TRACT MAP NOS. 37074 AND 38639 TO PERMIT THE DEVELOPMENT OF UP TO 1,697 NEW RESIDENTIAL UNITS, 1,269,774 SQUARE FEET OF LIGHT INDUSTRIAL LAND USE, 1,428,768 SQUARE FEET OF BUSINESS PARK LAND USE, 510.8 ACRES OF NATURAL OPEN SPACE; 14.3 ACRES OF PARK AND RECREATIONAL AMENITIES AND 13.4 ACRES FOR A PUBLIC SCHOOL SITE GENERALLY LOCATED NORTH OF STATE ROUTE 60, BETWEEN ARMSTRONG ROAD AND RUBIDOUX BOULEVARD (RIO VISTA PROJECT).”

(f) Following the public hearing, the City Council introduced and conducted a first reading of Ordinance No. 2024-23 “DEVELOPMENT AGREEMENT BY AND BETWEEN THE CITY OF JURUPA VALLEY, CANADIAN PACIFIC LAND, LLC, A FLORIDA LIMITED LIABILITY COMPANY, RMD INLAND INVESTORS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND MV AVALON, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY.”

(g) Custodian of Records. The City Clerk of the City of Jurupa Valley is the custodian of records, and the documents and other materials that constitute the record of proceedings upon which this decision is based are located at the Office of the City Clerk, City of Jurupa Valley, 8930 Limonite Avenue, Jurupa Valley, California, 92509.

(h) All legal preconditions to the adoption of this Resolution have occurred.

Section 3. General Plan Amendment.

(a) The Applicant is seeking approval of General Plan Amendment No. 16001 to do the following:

1) Change the General Plan land use designations associated with the existing Rio Vista Specific Plan as depicted in Figure 2-5 of the General Plan, as shown on Exhibit “A”, to align with the proposed land uses in Specific Plan No. 16001, by changing the General Plan land use on the subject parcels (APNs: 175-160-001, 177-030-014, 177-040-002, 177-040-008, 175-080-101, 175-090-001, 171-090-003, 175-090-004, 177-060-012, 175-160-007, 175-160-005, 175-100-005, 175-100-006, 175-150-002, 175-100-003) as follows:

General Plan Land Use Designation	Current General Plan Designation	Dwelling Units Per Acre	Proposed General Plan Designation	Dwelling Units Per Acre
Rural Neighborhood (VLDR)			6.4 acres	5
Medium Density Residential (MDR)	457 acres	1,249	58.7 acres	265
Medium High-Density Residential (MHDR)	14 acres	No units as this is identified as an Equestrian Park in the Specific Plan	59 acres	408
High Density Residential (HDR)	5 acres	60	58.6 acres	599
Very High Density Residential (VHDR)	24 acres	388		
Highest Density Residential (HHDR)			21.7 acres	420
Residential Total	500 acres	1,697	204.4	1,697
Commercial Retail (CR)	5 acres			
Public Facilities/Institutional			14.8 acres	
Business Park (BP)			82 acres	
Light Industrial			58.3 acres	
Non-Residential Total	5 acres		155.1 acres	
Open Space, Recreation (OS-R)	7 acres		18.4 acres	
Open Space, Conservation (OS-C)	405 acres		510.8 acres	
Open Space, Water (OS-W)			9 acres	
Open Space/Amenities Total	412 acres		538.2 acres	
Circulation			19.6 acres	

(b) Amending Table 1.3 and Table 2.6 of the General Plan to change the Specific Plan number for Rio Vista from 243 to 16001 as shown on Exhibit “B”.

(c) Section 9.30.010.A. of the Jurupa Valley Municipal Code provides that any amendment to any part of the Jurupa Valley General Plan, shall be adopted in accordance with the provisions of Section 65300 *et seq.* of the Government Code, as now written or hereafter amended, and Chapter 9.30 of the Jurupa Valley Municipal Code.

(d) Section 9.30.010.B. of the Jurupa Valley Municipal Code provides that the initiation of proceedings for the amendment of any part of the Jurupa Valley General Plan shall be conducted in accordance with the provisions of Chapter 9.30 of the Jurupa Valley Municipal Code.

(e) Section 9.30.040.D. of the Jurupa Valley Municipal Code provides that the owner of real property, or a person authorized by the owner, seeking to change the land use designation on that real property, shall have the right to apply for a General Plan amendment without having to request that the City Council adopt an order initiating proceedings for an amendment as detailed in Section 9.30.040. Instead, the owner of real property, or a person authorized by the owner, seeking to change the land use designation on that real property may apply for a General Plan amendment through the Planning Department and pay the required fee. Upon submittal of an application, the amendment shall be processed, heard and decided in accordance with Sections 9.30.010 and 9.30.100 of the Jurupa Valley Municipal Code.

(f) Section 9.30.100.(1) of the Jurupa Valley Municipal Code provides that proposals to amend any part of the Jurupa Valley General Plan shall be heard by the Planning Commission during a public hearing on the matter. Further, Government Code Section 65353 provides that when a city has a planning commission authorized by local ordinance or resolution to review and recommend action on a proposed general plan, the planning commission shall hold at least one public hearing before approving a recommendation on the adoption of a general plan.

(g) Section 9.30.040(F)(2) provides that the Planning Commission resolution recommending approval of an Entitlement/Policy Amendment to the General Plan shall make the first two findings listed below and any one or more of the subsequent findings:

1) The proposed change does not involve a change in or conflict with: the Riverside County Vision; any General Planning Principle set forth in General Plan Appendix B; or any Foundation Component designation in the General Plan.

2) The proposed amendment would either contribute to the purposes of the General Plan or, at a minimum, would not be detrimental to them.

3) Special circumstances or conditions have emerged that were unanticipated in preparing the General Plan.

4) A change in policy is required to conform to changes in state or federal law or applicable findings of a court of law.

5) An amendment is required to comply with an update of the Housing Element or change in State Housing Element law

6) An amendment is required to expand basic employment job opportunities (jobs that contribute directly to the city's economic base) and that would improve the ratio of jobs-to-workers in the city.

7) An amendment is required to address changes in ownership of land or land not under the land use authority of the City Council.

(h) Section 9.30.100.(2) of the Jurupa Valley Municipal Code provides that after closing the public hearing, the Planning Commission shall make a recommendation for approval or disapproval within a reasonable time, by resolution, including therein its findings, and transmit it to the City Council with a copy mailed to the applicant. A recommendation for approval shall be made by the affirmative vote of not less than a majority of the total membership of the Planning Commission. If the Planning Commission cannot reach a decision within a reasonable time after closing the hearing, that fact shall be reported to the City Council and shall be deemed a recommendation to deny the proposal. Further, Government Code Section 65354 provides that the planning commission shall make a written recommendation on the adoption of a general plan, that a recommendation for approval shall be made by the affirmative vote of not less than a majority of the total membership of the planning commission, and that the planning commission shall send its recommendation to the legislative body.

(i) Section 9.30.100.(3) of the Jurupa Valley Municipal Code provides that upon receipt of a recommendation of the Planning Commission on an amendment of the General Plan, the City Clerk must set the matter for public hearing before the City Council at the earliest convenient day and give notice of public hearing in the same manner as notice was given of the hearing before the Planning Commission.

(j) Section 9.30.100.(4) of the Jurupa Valley Municipal Code provides that after closing the public hearing, the City Council must render its decision within a reasonable time. A decision to adopt or amend the General Plan, or any part or element thereof, shall be made by resolution, which resolution shall be adopted by the affirmative vote of not less than the majority of the total membership of the City Council. The City Council may approve, modify or disapprove the recommendation of the Planning Commission; provided, however, that any substantial modification of the Planning Commission's recommendation not previously considered by the Commission shall first be referred to the Commission for its recommendation. Further, Government Code Section 65356 provides that the legislative body must adopt or amend a general plan by resolution, which resolution shall be adopted by the affirmative vote of not less than a majority of the total membership of the legislative body. The legislative body may approve, modify, or disapprove the recommendation of the planning commission, if any. However, any substantial modification proposed by the legislative body not previously considered by the commission during its hearings, shall first be referred to the planning commission for its recommendation.

(k) Section 9.30.100.(5) of the Jurupa Valley Municipal Code provides that a proposal to adopt or amend any part or element of the General Plan shall not be approved by the City Council until all procedures required by the Jurupa Valley CEQA implementing procedures to approve a matter have been completed.

Section 4. **Specific Plan Adoption.**

(a) The Applicant seeks to adopt the Rio Vista Specific Plan attached hereto as Exhibit “C”. The Applicant also seeks to repeal Specific Plan No. 243.

(b) Section 9.30.080 of the Jurupa Valley Municipal Code provides that specific plans, and amendments thereto, must be heard and adopted in accordance with the provisions of Government Code Section 65450 *et seq.*, as now written or hereafter amended, and in accordance with Jurupa Valley Municipal Code Section 9.30.100. Further, Government Code Section 65453(a) provides that a specific plan shall be prepared, adopted, and amended in the same manner as a general plan, except that a specific plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body. Government Code Section 65453(b) provides that specific plans may be repealed in the same manner as it is required to be amended.

(c) Section 9.30.100(1) of the Jurupa Valley Municipal Code provides that proposals to amend any part of the Jurupa Valley General Plan shall be heard by the Planning Commission during a public hearing on the matter. Further, Government Code Section 65353(a) provides that when a city has a planning commission authorized by local ordinance or resolution to review and recommend action on a proposed general plan, the planning commission shall hold at least one public hearing before approving a recommendation on the adoption of a general plan.

(d) Section 9.30.100(2) of the Jurupa Valley Municipal Code provides that after closing the public hearing, the Planning Commission shall make a recommendation for approval or disapproval within a reasonable time, by resolution, including therein its findings, and transmit it to the City Council with a copy mailed to the applicant. A recommendation for approval shall be made by the affirmative vote of not less than a majority of the total membership of the Planning Commission. If the Planning Commission cannot reach a decision within a reasonable time after closing the hearing, that fact shall be reported to the City Council and shall be deemed a recommendation to deny the proposal. Further, Government Code Section 65354 provides that the planning commission shall make a written recommendation on the adoption of a general plan, that a recommendation for approval shall be made by the affirmative vote of not less than a majority of the total membership of the planning commission, and that the planning commission shall send its recommendation to the legislative body.

(e) Section 9.30.100(3) of the Jurupa Valley Municipal Code provides that upon receipt of a recommendation of the Planning Commission on an amendment of the General Plan, the City Clerk must set the matter for public hearing before the City Council at the earliest convenient day and give notice of public hearing in the same manner as notice was given of the hearing before the Planning Commission. Further, Government Code Section 65355 provides that prior to adopting or amending a general plan, the legislative body shall hold at least one public hearing. Notice of the hearing must be given pursuant to Government Code Section 65090.

(f) Section 9.30.100(4) of the Jurupa Valley Municipal Code provides that after closing the public hearing, the City Council must render its decision within a reasonable time. A decision to adopt or amend the General Plan, or any part or element thereof, shall be made by resolution, which resolution shall be adopted by the affirmative vote of not less than the majority

of the total membership of the City Council. The City Council may approve, modify or disapprove the recommendation of the Planning Commission; provided, however, that any substantial modification of the Planning Commission's recommendation not previously considered by the Commission shall first be referred to the Commission for its recommendation. Further, Government Code Section 65356 provides that the legislative body must adopt or amend a general plan by resolution, which resolution shall be adopted by the affirmative vote of not less than a majority of the total membership of the legislative body. The legislative body may approve, modify, or disapprove the recommendation of the planning commission, if any. However, any substantial modification proposed by the legislative body not previously considered by the planning commission during its hearings, shall first be referred to the planning commission for its recommendation.

(g) Section 9.30.100(5) of the Jurupa Valley Municipal Code provides that a proposal to adopt or amend any part or element of the General Plan shall not be approved by the City Council until all procedures required by the Jurupa Valley CEQA implementing procedures to approve a matter have been completed.

Section 5. Tentative Tract Maps.

(a) The Applicant is seeking approval of Tentative Tract Map No. 37074 (TTM 37074) to create 425 residential lots of single-family residential development on Planning Areas 4-6 and mass grading on Planning Areas 1-3, 9, 10, 12-16, 18-19, and portions of 21A and C. TTM 37074 is a Schedule "A" subdivision.

(b) The Applicant is also seeking approval of Tentative Tract Map No. 38639 (TTM 38639) to subdivide 907.28 acres of land into 26 large lots for finance purpose. TTM 38639 does not create any legal building sites nor does it propose any improvements. All improvements for the site are to be constructed in conjunction with TTM 37074 and future subdivision maps.

(c) Section 7.05.020.A. of the Jurupa Valley Municipal Code provides that the Jurupa Valley Planning Commission is designated as the "Advisory Agency" charged with the duty of making investigations and reports on the design and improvement of all proposed tentative Schedule "A" maps. Further, Section 7.05.020.A. of the Jurupa Valley Municipal Code provides that the Planning Commission is authorized to approve, conditionally approve or disapprove all such tentative map land divisions and report the action directly to the City Council and the land divider.

(d) Section 7.15.130.A. of the Jurupa Valley Municipal Code provides that within fifty (50) days after the date of filing of a commercial parcel map, a public hearing on the map must be held before the Planning Commission.

(e) Section 7.15.130.B. of the Jurupa Valley Municipal Code provides that after the close of the hearing, the Planning Commission must approve, conditionally approve, or disapprove the proposed tentative map, file notice of the decision with the City Clerk, and mail notice of the decision to the land divider, or his or her authorized agent, and any interested party requesting a copy.

(f) Section 7.15.150 of the Jurupa Valley Municipal Code provides that the Planning Commission is the advisory agency authorized to directly approve, conditionally approve or disapprove all such tentative maps.

(g) Section 7.15.180 of the Jurupa Valley Municipal Code requires denial of a Tentative Tract Map if it does not meet all of the requirements of Title 7 of the Jurupa Valley Municipal Code, or if any of the following findings are made:

1) That the proposed land division is not consistent with applicable general and specific plans.

2) That the design or improvement of the proposed land division is not consistent with applicable general and specific plans.

3) That the site of the proposed land division is not physically suitable for the type of development.

4) That the site of the proposed land division is not physically suitable for the proposed density of the development.

5) That the design of the proposed land division or proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

6) That the design of the proposed land division or the type of improvements are likely to cause serious public health problems.

7) That the design of the proposed land division or the type of improvements will conflict with easements, acquired by the public at large, for access through, or use of, property within the proposed land division. A land division may be approved if it is found that alternate easements for access or for use will be provided and that they will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction.

8) Notwithstanding subsection 5) above, a tentative map may be approved if an environmental impact report was prepared with respect to the project and a finding was made, pursuant to the California Environmental Quality Act (Pub. Resources Code Section 21000 *et seq.*), that specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.

Section 6. Housing Element Findings.

(a) Government Code section 65863(b)(1) states that “No city, county, or city and county shall, by administrative, quasi-judicial, legislative, or other action, reduce, or require or permit the reduction of, the residential density for any parcel identified to meet its current share of the regional housing need or any unaccommodated portion of the regional housing need from the prior planning period to, or allow development of any parcel at, a lower residential density, as

defined in paragraphs (1) and (2) of subdivision (g), unless the city, county, or city and county makes written findings supported by substantial evidence of both of the following:

1) The reduction is consistent with the adopted general plan, including the housing element.

2) The remaining sites identified in the housing element are adequate to meet the requirements of Section 65583.2 and to accommodate the jurisdiction's share of the regional housing need pursuant to Section 65584. The finding shall include a quantification of the remaining unmet need for the jurisdiction's share of the regional housing need at each income level and the remaining capacity of sites identified in the housing element to accommodate that need by income level.”

(b) Here, there will not be a reduction in the overall residential density of the Specific Plan as a whole. The Housing Element identifies that Specific Plan No. 243 has a residential capacity of 1,018 units with 440 units identified for moderate income households and 578 units for above moderate households. Specific Plan No. 16001 has a residential capacity of 1,697 units. This 1,697 unit count is broken down as follows: 6.4 acres (5 units) of Rural Neighborhood (VLDR), 58.7 acres (265 units) of Medium Density Residential (MDR), 59 acres (408 units) of Medium High Density Residential (MHDR), 58.6 acres (599 units) of High Density Residential (HDR), and 21.7 acres (420 units) of Highest Density Residential (HHDR). The HHDR land use designation allows for 21 to 25 dwelling units per acre. 420 units are allocated to HHDR which, based on the Housing Element and the density allowed, could meet the lower income category for the Regional Housing Needs Allocation (“RHNA”). As noted above, under Specific Plan No. 243 no units are allocated to the lower income household category and therefore, the General Plan Amendment will increase the residential capacity for lower income households from what was identified in the Housing Element. The HDR land use designation allows for 8 to 14 dwelling units per acre. 599 units are allocated to the HDR land use designation which, based on the Housing Element and the density allowed, could meet the moderate income category for the RHNA. As noted above, 440 units are identified for moderate income households in Specific Plan No. 243 which is lower than the 599 units that could meet the moderate income household category under Specific Plan No. 16001. As such, the General Plan amendment will result in an increase in 159 units of residential capacity from what was identified in the Housing Element. 265 units are allocated to the MDR land use designation, which based on the Housing Element and the density allowed, could meet the above market category for RHNA. Specific Plan No. 16001 has 270 above moderate income units which is less than the 578 above moderate units identified in Specific Plan No. 243. This leaves a deficit of 308 above moderate units. The City has taken an inventory of its recently entitled projects and determined that there is a surplus of 826 above moderate income units. Therefore, the 308 unit deficit in above moderate units is accommodated by these previously entitled projects.

Section 7. Findings for Approval of General Plan Amendment. The City Council of the City of Jurupa Valley hereby makes the following findings in connection with the approval of General Plan Amendment No. 16001:

(a) The proposed changes do not involve a change in or conflict with the Riverside County Vision, any General Plan Principle outlined in the General Plan or any

Foundation Component designation in the General Plan. The proposed amendment is consistent with the City's Vision and does not present any conflicts with the General Plan Principles outlined in the City's General Plan. The proposed land uses, comprehensive planning and implementation measures, development standards, and design criteria respect the principles and policies articulated in the General Plan, ensuring that it contributes positively to the overall character and sustainability of the community and are consistent with the General Plan's vision.

(b) The proposed amendment would either contribute to the purposes of the General Plan or, at a minimum, would not be detrimental to them.

1) The General Plan amendment allows for implementation of the Specific Plan which demonstrates strong consistency with the policies outlined in the General Plan. It adheres to the overarching vision and goals of the General Plan by integrating a diverse mix of land uses, including residential, industrial, open space, recreational, and educational facilities. The project's detailed planning frameworks, which encompass Land Use, Circulation, Open Space/Recreation, Water and Sewer, Maintenance, Grading, and Public Safety, align with the State law and General Plan requirements.

2) The Rio Vista Specific Plan is identified in the City's 2021-2029 Housing Element's site inventory. The Housing Element identifies that the Rio Vista Specific Plan will construct 1,018 dwelling units, with 440 moderate units and 578 above-moderate units. The project proposes 1,697 residential units. The unit breakdown will be 265 Medium Density Residential (MDR) units, 408 Medium High Density Residential (MHDR) units, 599 High Density Residential (HDR) units, 420 Highest Density Residential (HHDR) units, and 5 Very Low Density Residential (VLDR) units.

3) As noted above, the project proposes 420 units at the HHDR designation which allows up to 25 dwelling units per acre. The same designation in the City's General Plan provides the opportunity to provide housing meeting the Extremely/Very Low and Low income categories. The High Density Residential (HDR) designation allows up to 14 dwelling units per acre. This designation provides the opportunity for moderate income units. The project proposes 599 units in that land use designation. By providing a mix of residential densities, including higher-density categories, the proposed General Plan Land Use Designation amendments for the Rio Vista Specific Plan contribute to and align with the City's General Plan and Housing Element goals, particularly those related to housing affordability, diversity, and meeting regional housing needs.

4) The proposed General Plan amendments are consistent with the following Land Use and Housing Element goals:

LUE -1 Encourages attractive, safe, and well-maintained residential neighborhoods that offer a range of high quality housing opportunities that "fit" the community in which they are to be located; and

LUE 4 The Specific Plan increases the amount of natural open space, with provides trails with views and promotes the preservation of natural habitats, including the area around the Palmers Oak.

LUE 3.12 Industrial and Business Park Development, the Rio Vista Specific Plan includes Industrial and Business Park planning areas that allows new industrial, manufacturing, research and development uses.

HE 1.1: Meeting the Regional Housing Needs Allocation by providing sufficient land at appropriate densities.

HE 1.2: Promoting affordable housing by including land use and standards that allow up to 25 units per acre in the HHDR designation.

HE 1.4: The Specific Plan encourages housing diversity by incorporating various residential land use densities, ranging from Very Low to Highest Density Residential, to meet community needs.

(c) An amendment is required to expand basic employment job opportunities (jobs that contribute directly to the city's economic base) and that would improve the ratio of jobs-to-workers in the city. The amendment and the development of the Specific Plan have several benefits to the city that would improve the economic base and the ratio to workers. Residential development offers significant advantages to a city by bolstering housing availability, attracting more residents, and consequently enhancing the job-to-worker ratio. Additionally, as the population increases, local businesses thrive, fostering entrepreneurship and creating job opportunities across various sectors. An increase in population typically leads to increased consumer spending on goods and services, benefiting local businesses and driving economic growth. Finally, the development of residential areas often results in increased property values, leading to higher property tax revenue. This additional revenue can be reinvested in infrastructure, public services, and economic development initiatives.

Section 8. Findings for Adoption of the Rio Vista Specific Plan No. 16001 and Repeal of Specific Plan No. 243. The City Council of the City of Jurupa Valley finds and determines that:

(a) The Rio Vista Specific Plan No. 16001, attached hereto as Exhibit "C" should be adopted because the proposed Specific Plan would contribute to and not be detrimental to the purposes of the General Plan in that the Specific Plan would contribute to the goals and policies of the General Plan including creating economic growth by providing additional jobs with the development of new business park, and industrial park land use, provide attractive and safe residential neighborhoods, designate natural open space that provides recreational opportunities and preserves natural habitat, establish land uses within proximity to existing and future housing creating new employment job opportunities that directly contribute to the city's economic base and also improve the city's jobs/housing balance.

(b) The Rio Vista Specific Plan No. 243 should be repealed as it covers the same area as the Rio Vista Specific Plan and is no longer needed.

Section 9. Findings for Approval of Tentative Tract Map Nos. 37074 and 38639. The City Council of the City of Jurupa Valley makes the following finding in connection with the approval of Tentative Tract Map Nos. 37074 and 38639:

1) The proposed land division is consistent with the City's General Plan, proposed Specific Plan, and municipal code upon the approval of the General Plan Amendment and Specific Plan. The subdivision will be consistent with the Land Use Objectives of the General Plan to provide sustainable prosperity by expanding appropriate housing, and promoting a more balanced range of land uses that meets the needs and values of the wider community, and ensuring that vacant land and resources are used wisely. In addition, the proposed subdivision would be consistent with the following Land Use Element goals: LUE -1 Encourages attractive, safe, and well-maintained residential neighborhoods that offer a range of high quality housing opportunities that "fit" the community in which they are to be located; LEU -4 Protects open space and natural resource areas for solitude and a relief from urban stresses, recreation and views, diverse and healthy natural habitats for a variety of plant and animal life and distinct community edges; and LEU -5 Supports diverse and well-funded public and institutional uses that provide essential utilities and public services, lifelong learning opportunities, and improved access to recreational, cultural, historic, and social amenities and resources.

2) The design or improvement of the proposed land division is consistent with the City's General Plan and proposed Specific Plan in that the proposed subdivisions would subdivide the project site into 26 large lots on 907.28 acres for finance purposes and 425 residential lots and mass grading consistent with the proposed General Plan Land Use designations to accommodate the land uses, preliminary grading and utilities plan, street vacations, street improvements, and infrastructure improvements associated with the proposed Specific Plan and the City's General Plan.

3) The site of the proposed land divisions are physically suitable for the type of development in that the Project site is undeveloped and can physically accommodate the proposed new land uses and new infrastructure consistent with the proposed specific Plan and all Federal, State, and local code requirements.

4) The site of the proposed land divisions are physically suitable for the proposed density of the development in that development on the Project site will be consistent with the allowable density, floor area ratios, development standards, and infrastructure improvements as required by the proposed Specific Plan and General Plan.

5) The design of the proposed land divisions or proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat in that the City has prepared an Environmental Impact report which analyzed potential impacts to fish or wildlife or their habitat and prepared appropriate mitigation measures to reduce impacts to a level of less than significant. For the areas of Air Quality, Historic and Archaeological Resources, Greenhouse Gas Emissions, Transportation, and Tribal Cultural Resources, a Statement of Overriding Considerations has been prepared.

6) The design of the proposed land divisions or the type of improvements are not likely to cause serious public health problems. The uses proposed on the proposed land divisions are not the type to cause public health problems. The proposed land division will allow for Rural Neighborhood (VLDR), Medium Density Residential (MDR), Medium High Density Residential (MHDR), High Density Residential (HDR), Highest Density

Residential (HHDR), Business Park (BP), Public Facilities/Institutional (PF), Conservation (OS-C), Open Space Recreation (OS-R). None of these uses are anticipated to cause public health problem and are similar to other uses allowed in the City.

7) The design of the proposed land divisions or the type of improvements will not conflict with easements, acquired by the public at large, for access through, or use of, property within the proposed land divisions in that the tentative tract maps contains an easement schedule that identifies the disposition of existing easement within the Project site including relocation, quitclaim, or to remain.

8) Notwithstanding subsection (5) of this section, a tentative map may be approved if an environmental impact report was prepared with respect to the project and a finding was made, pursuant to the California Environmental Quality Act (Pub. Resources Code Section 21000 *et seq.*), that specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.

9) Consistent with Government Code section 66473.7, the project has been conditioned to require that a sufficient water supply shall be available to serve the development.

Section 10. Approval of Master Application No. 16045 with Conditions. Based on the foregoing, the City Council hereby resolves as follows:

(a) The City Council of the City of Jurupa Valley hereby approves Master Application No. 16045 which includes General Plan Amendment No. 16001 as shown on Exhibits “A” and “B”; the new Rio Vista Specific Plan SP16001 attached as Exhibit “C”; and Tentative Tract Map Nos. 37074 and 38639 subject to the conditions of approval attached hereto as Exhibit “D”, to permit the construction of up to 1,697 residential units, 1,269,774 square feet of light industrial land use, 1,428,768 square feet of business park land use, 510.8 acres of natural open space, 14.3 acres of park and recreational amenities, and 13.4 acres of public school site.

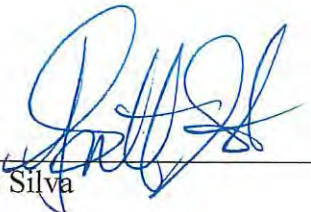
(b) The City Council hereby repeals Specific Plan No. 243.

(c) The City Council hereby authorizes the City Manager to take any action necessary to effectuate the approvals set forth above, including updating the maps and language in the General Plan consistent with the actions taken in Exhibits “A” and “B”.

(d) The City Council’s approval of General Plan Amendment No. 16001, Rio Vista Specific Plan No. 16001, and Tentative Tract Map Nos. 37074 and 38639 shall not be effective until the effective date of the ordinance adopting Development Agreement 16001.

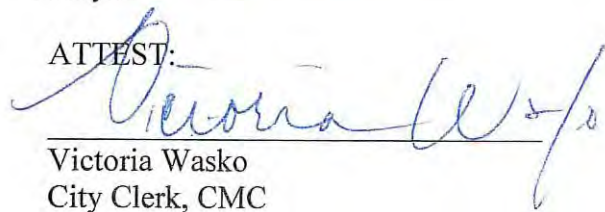
Section 11. Certification. The City Clerk shall certify to the adoption of this Resolution.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Jurupa Valley on this 5th day of September, 2024



Guillermo Silva
Mayor

ATTEST:



Victoria Wasko
City Clerk, CMC

CERTIFICATION

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF JURUPA VALLEY)

I, Victoria Wasko, City Clerk of the City of Jurupa Valley, do hereby certify that the foregoing Resolution No. 2024-103 was duly passed and adopted at a meeting of the City Council of the City of Jurupa Valley on the 5th day of September, 2024 by the following vote, to wit:


AYES: ALTAMIRANO, BARAJAS, SILVA

NOES: BERKSON, CARMONA

ABSENT: NONE

ABSTAIN: NONE

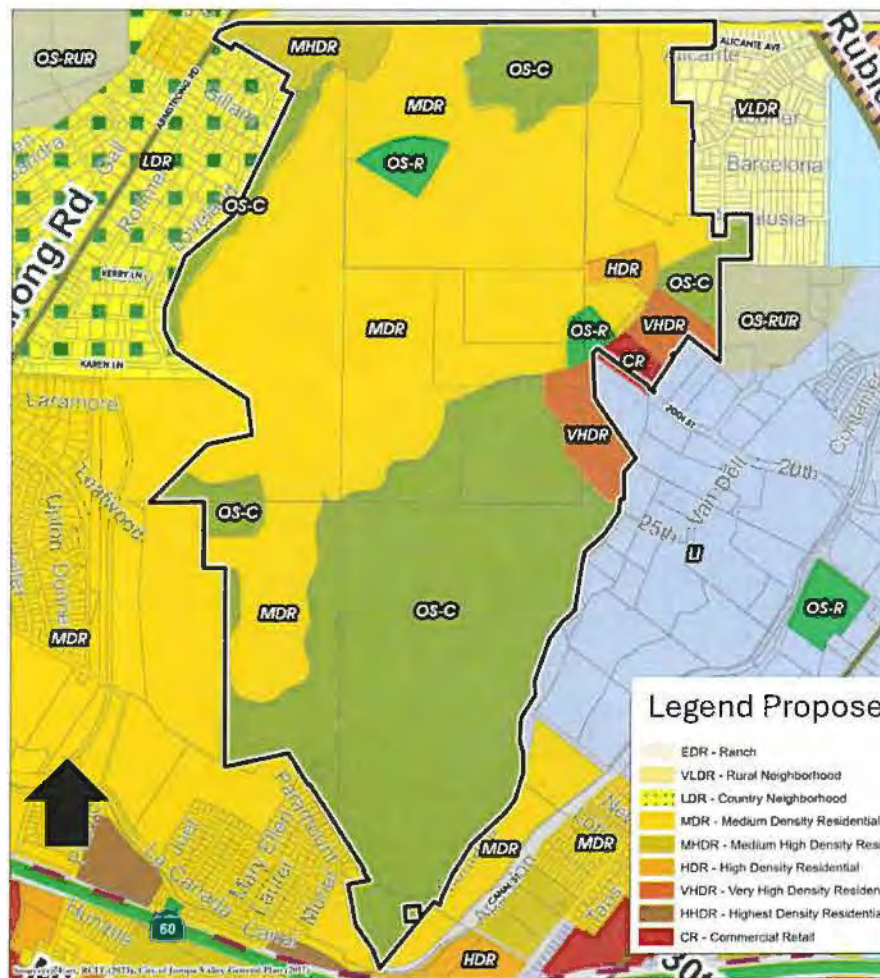
IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Jurupa Valley, California, this 5th day of September, 2024.



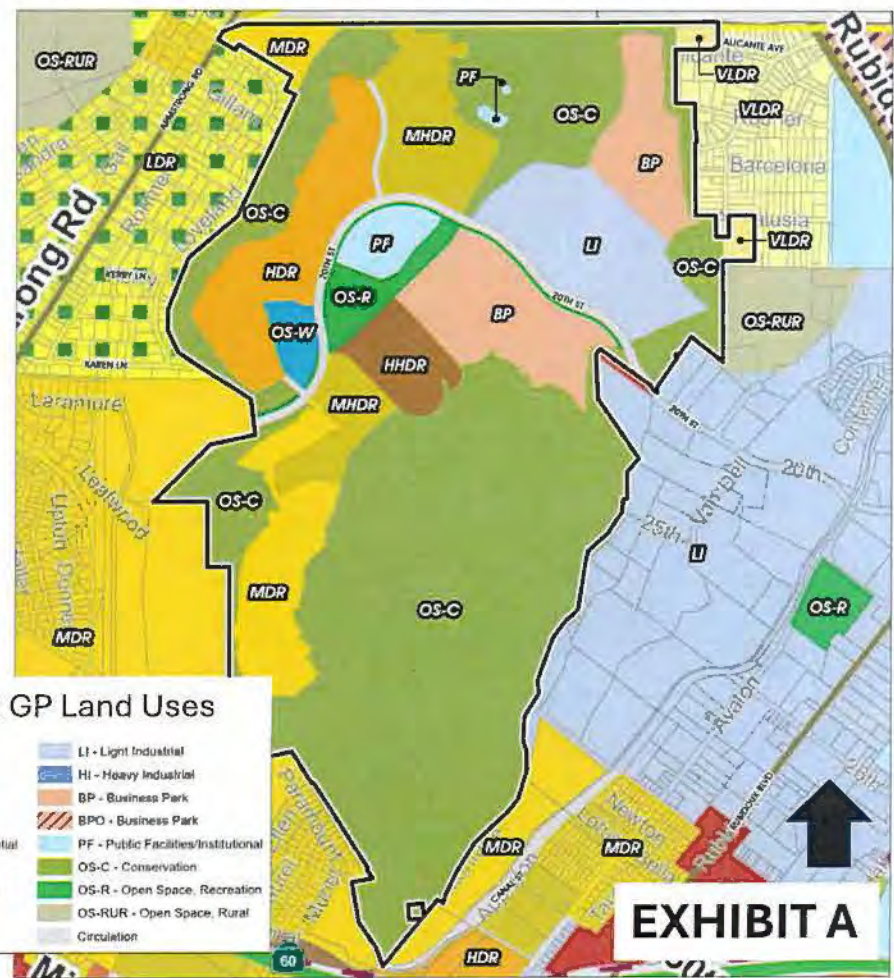
Victoria Wasko, City Clerk
City of Jurupa Valley

EXHIBIT A
GENERAL PLAN LAND USE CHANGES

Existing General Plan Land Uses (SP 243)



Proposed General Plan Land Uses (SP16001)



Legend Proposed GP Land Uses

EDR - Ranch	LI - Light Industrial
VLDR - Rural Neighborhood	HI - Heavy Industrial
LDR - Country Neighborhood	BP - Business Park
MDR - Medium Density Residential	BPO - Business Park
MHDR - Medium High Density Residential	PF - Public Facilities/Institutional
HDR - High Density Residential	OS-C - Conservation
VHDR - Very High Density Residential	OS-R - Open Space, Recreation
HHDR - Highest Density Residential	OS-RUR - Open Space, Rural
CR - Commercial Retail	Circulation

EXHIBIT A

EXHIBIT A: GENERAL PLAN LAND USE CHANGES

GP LAND USE	1992 APPROVED SPECIFIC PLAN (SP243)	DU	2023 PROPOSED SPECIFIC PLAN (SP16001)	DU
Rural Neighborhood (VLDR)	-	-	6.4 AC	5
Med. Density Res. (MDR)	457 AC	1,249	58.7 AC	265
Med. High Density Res. (MHDR)	14 AC	-	59.0 AC	408
High-Density Res. (HDR)	5 AC	60	58.6 AC	599
Very High Density Res. (VHDR)	24 AC	388	-	-
Highest Density Res. (HHDR)	-	-	21.7 AC	420
RESIDENTIAL TOTAL	500 AC	1,697 DU	204.4 AC	1,697 DU
Commercial Retail (CR)	5 AC		-	-
Public Facilities/Institutional (PF)	-		14.8 AC	-
Business Park (BP)	-		82.0 AC	-
Light Industrial (LI)	-		58.3 AC	-
NON-RESIDENTIAL TOTAL	5 AC		155.1 AC	
Open Space, Recreation (OS-R)	7 AC		18.4 AC	
Open Space, Conservation (OS-C)	405 AC		510.8 AC	
Open Space, Water (OS-W)	-		9.0 AC	
OPEN SPACE/AMENITIES TOTAL	412 AC		538.2 AC	
Circulation			19.6 AC	
TOTAL	917 AC		917.3 AC	

EXHIBIT B

GENERAL PLAN TABLE 1.3 and 2.6 Amendments

Table 1.3: Adopted Specific Plans, 2017

Specific Plan	Number
Mission de Anza	123
Sky Country	125
Agua Mansa	210
Rio Vista	243-16001
I-15 Corridor	266
Emerald Meadows Ranch	337
Thoroughbred Farms	376
Paradise Knolls	650

Table 2.6: Adopted Specific Plans in Jurupa Valley

Specific Plan	Specific Plan Number
Mission de Anza	123
Sky Country	125
Agua Mansa	210
Rio Vista	243-16001
I-15 Corridor	266
Emerald Meadows Ranch	337
Thoroughbred Farms	376
Paradise Knolls	650

EXHIBIT C
Rio Vista Specific Plan



RIO VISTA

SPECIFIC PLAN (SP16001)

(MA16045)

A MASTER PLANNED COMMUNITY



PUBLIC HEARING DRAFT | SEPTEMBER 2024



RIO VISTA

SPECIFIC PLAN (SP16001)

(MA16045)

A MIXED-USE MASTER PLANNED COMMUNITY

PREPARED FOR:

RICHLAND

3161 Michelson Drive
Suite 425
Irvine, CA 92612
(949) 383-4134
Contact: Brian Hardy

PREPARED BY:

T&B PLANNING, INC.

3200 El Camino Real
Suite 100
Irvine, CA 92602
(714) 505-6360
Contact: Lance Retuya

IN CONSULTATION WITH:

EPD SOLUTIONS

HUNSAKER & ASSOCIATES – *Civil Engineer*

NEAULT & ASSOCIATES – *Landscape Architecture*

AO – *Industrial/Business Park Architect*

BASSENIAN LAGONI – *Residential Architect*

PUBLIC HEARING DRAFT: SEPTEMBER 2024

(CLEAN VERSION)

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I. INTRODUCTION

A. PROJECT SUMMARY

Nestled in hillsides above the City of Jurupa Valley with panoramic views of Riverside, Mount Rubidoux, the Santa Ana River, and Jurupa Valley, the RIO VISTA Specific Plan (SP 16001) is a distinctive 917.3-acre mixed-use master-planned residential community and commerce center which provides development of 1,697 single-family and multi-family homes at a residential project density of 1.8 dwelling units per acre (du/ac), along with up to 2,698,542 square feet (s.f.) of combined Light Industrial and Business Park land uses.

RIO VISTA establishes a mixture of residential and employment generating land uses arranged in a functional and efficient manner which complements the surrounding community and provides convenient access to the nearby regional circulation system (approximately one mile north of State Route 60). The selection of land uses and their orientation within the site are designed to acknowledge, accommodate, and complement the existing land use patterns of the surrounding community. RIO VISTA is designed to create high quality residential neighborhoods and attract economic investment to the City of Jurupa Valley to create job opportunities for City residents, along with encouraging the creation of new light industrial, light manufacturing, research, self-storage, and professional services in the City of Jurupa Valley.

RIO VISTA offers home ownership opportunities within neighborhoods oriented around scenic views and access to the surrounding hillside open space. RIO VISTA neighborhoods feature a variety of attached and detached homes for residents in a wide range of family sizes and lifestyle preferences. RIO VISTA is designed to provide an assortment of housing options including traditional single-family detached homes, compact single-family detached “private lane” homes, homes on minimum 1.0-acre lots, attached auto-court homes, and multi-family product types. To serve the residential neighborhoods, RIO VISTA provides open space, parks, trails, and a potential school site.

The design of RIO VISTA preserves 510.8 acres of the site as Open Space-Conservation, which preserves natural hillsides and provides visual amenities and recreation opportunities. Additionally, the RIO VISTA design includes another 18.4 acres of Recreation uses, including the 14.3-acre public Community Park, which provides playgrounds, sports courts, and play fields; small neighborhood parks, located throughout the community to provide neighborhood oriented recreational opportunities; and 4.1 acres of Expanded Parkway to provide residents with passive recreation and trails along 20th Street. In addition to the parks and trails, paved bicycle and walking paths provide connection to existing trails within the surrounding Jurupa Hills. RIO VISTA also provides a 13.4-acre JUSD school site (Planning Area 18) that can accommodate grades TK-6, and which is centrally located in the community, adjacent to the Community Park, to serve RIO VISTA and the surrounding community’s children. Alternative land uses for PA 18 are provided in Section II, *Specific Plan*, and Table I-1, *Planning Area Summary*. Figure I-5, *Existing vs. Proposed General Plan Land Use Designations*, depicts a comparison of the existing and proposed General Plan Land Use Designations.

Winding through RIO VISTA’s scenic terrain is 20th Street, a 100-foot-wide Modified Secondary Highway enhanced with an additional 30-foot-wide recreation corridor that includes a 10-foot-wide Class I bike trail and 8-foot soft-surface, decomposed granite trail. The Collector Streets,

Industrial Collector Streets, and Local Roads within RIO VISTA provide 5-foot-wide sidewalks separated by curb-adjacent landscaped parkways from the pavement to enhance the pedestrian experience of the community. Table I-1, *Planning Area Summary*, provides a detailed summary of the RIO VISTA Planning Areas.

Table I-1 PLANNING AREA SUMMARY

RESIDENTIAL						
PA	LAND USE	ACRES	TARGET DUs ¹	MAXIMUM DUs	TARGET DENSITY ¹	DENSITY RANGE ¹
1	Medium Density Residential (MDR)	24.9	113	125	4.5	2.0 - 5.0
2	Medium Density Residential (MDR)	22.7	107	114	4.7	2.0 - 5.0
3	Medium High Density Residential (MHDR)	19.4	149	155	7.7	5.0 – 8.0
4	High Density Residential (HDR)	18.2	225	455	12.4	8.0 – 14.0
5	High Density Residential (HDR)	13.3	116	186	8.7	8.0 – 14.0
6	High Density Residential (HDR)	27.1	258	379	9.5	8.0 – 14.0
7	Medium Density Residential (MDR)	11.1	45	55	4.1	2.0 - 5.0
8	Medium High Density Residential (MHDR)	39.6	259	317	6.5	5.0 – 8.0
9	Highest Density Residential (HHDR)	21.7	420	543	19.4	21.0 – 25.0
10	Very Low Density Residential (VLDR)	2.6	2	2	0.8	2.0
11	Very Low Density Residential (VLDR)	3.8	3	3	0.8	2.0
RESIDENTIAL SUBTOTAL		204.4	1,697	--	8.3	--
LIGHT INDUSTRIAL & BUSINESS PARK						
PA	LAND USE	ACRES	MAXIMUM BUILDING SQ. FT		FLOOR AREA RATIO	
12	Light Industrial (LI)	38.1	1,269,774		0.5	
13	Light Industrial (LI)	20.2				
14	Business Park (BP)	31.9	1,428,768		0.4	
15	Business Park (BP)	32.1				
16	Business Park (BP)	18.0				
LIGHT INDUSTRIAL & BUSINESS PARK SUBTOTAL		140.3	2,698,542		--	
OTHER						
PA	LAND USE	ACRES	TARGET DUs ¹	MAXIMUM DUs	TARGET DENSITY ¹	DENSITY RANGE ¹
17	Public Facility – Water Tanks (PF) ²	1.4	--	--	--	--
18	Public Facility – School (PF) ²	13.4	56	--	5.1	5.0-8.0

Table I-1 PLANNING AREA SUMMARY

19	Community Park (OS-R)	14.3	--	--	--	--
20	Open Space (Water Basin)	9.0	--	--	--	--
21A	Open Space (Conservation) ³	26.0	--	--	--	--
21B	Open Space (Conservation) ³	46.9	--	--	--	--
21C	Open Space (Conservation) ³	63.7	--	--	--	--
21D	Open Space (Conservation) ³	27.7	--	--	--	--
21E	Open Space (Conservation) ³	346.5	--	--	--	--
	Expanded Parkway (Trails) (OS-R)	4.1	--	--	--	--
	Circulation	19.6	--	--	--	--
OTHER SUBTOTAL		572.6	56	--	--	--
		ACRES	TARGET DUs¹	MAXIMUM DUs	TARGET DENSITY¹	DENSITY RANGE¹
PROJECT TOTALS		917.3	1,697	--	1.8	--
OVERALL MAXIMUM BUILDING SQUARE FOOTAGE		2,698,542 s.f.				

Notes:

1. Dwelling Unit count by Planning Area (PA) is approximate and may vary from PA to PA and may increase or decrease by up to 10% provided that the overall Dwelling Units in RIO VISTA do not exceed 1,697 Dwelling Units (DUs). Within PA 7, the target DUs may increase up to 55 DUs provided that the overall DUs in RIO VISTA do not exceed 1,697 DUs. The target density of each Planning Area may increase or decrease provided that the target density remains below the maximum density of the land use designation.
2. Planning Area (PA) 18 may be developed with private or public school institutions and/or additional recreational areas if the School District does not purchase PA 18 by the buildout of the 800th residential unit (Section II.A.1.C.). In response to market demands, non-residential uses (mixed use, office, commercial, religious) may be developed in PA 18 subject to a Conditional Use Permit. PA 18 may be developed with a target of 56 DUs designated Medium-High Density Residential as an alternative to the school (not included in the 'Project Totals'), if the property owner submits documentation, to be reviewed and approved by the City Manager, determining that educational, non-residential, and/or recreational uses are infeasible. Although development of the alternative 56 DUs would result in less potential impacts than the school use, further California Environmental Quality Act (CEQA) review may be required.
3. Open Space-Conservation includes natural areas, common areas, landscaped slopes, conservation areas, and Southern California Edison easement.
4. All Planning Area access points shown are conceptual only.
5. Acreage is approximate - exact acreage will be defined through future implementing tract map(s).

B. PROJECT LOCATION

1. REGIONAL

As shown on Figure I-1, *Regional Map*, RIO VISTA is located in the City of Jurupa Valley in northwest Riverside County, and borders portions of unincorporated San Bernardino County, the City of Fontana to the north, the City of Riverside to the east, the City of Norco to the south, and the City of Eastvale to the west.

State Route 60 (SR-60) provides regional access to RIO VISTA, from the south via Armstrong Road and Rubidoux Boulevard. Interstate 10 (I-10), provides regional access from the north via Sierra Avenue and Cedar Avenue. Both SR-60 and I-10 connect to Interstate 15 (I-15) to the west and Highway 215 (I-215) to the east, providing convenient access to RIO VISTA from the regional freeway network. The primary thoroughfare within RIO VISTA is 20th Street, which connects to Rubidoux Boulevard to the east and Sierra Avenue to the west.

2. SURROUNDING LAND USES AND DEVELOPMENT

As shown on Figure I-2, *Surrounding Development* and Figure I-3, *Surrounding General Plan Land Use Designations*, a mixture of residential, industrial, commercial, education, and undeveloped land uses lies adjacent to the RIO VISTA Specific Plan (SP 16001) border. Established single-family residential neighborhoods in the adjacent communities of Sunnyslope, Rubidoux, and Crestmore Heights are located to the west, south, and east respectively of RIO VISTA. The Valley Trails Specific Plan is located directly adjacent to the northwest of the RIO VISTA site in San Bernardino County, and the Highland Park residential subdivision (Tentative Tract Map No. 31894) abuts the RIO VISTA Specific Plan to the west within the City of Jurupa Valley. To the east of RIO VISTA along 20th Street, at the base of the hill which provides approximately 75 vertical feet of separation, are existing industrial uses include aggregate materials storage, concrete batch plants, and outdoor storage of construction office trailers. The approved Emerald Ridge residential subdivision is adjacent to the southeast portion of the site. The topography of the residential neighborhoods to the west and industrial uses to the east are relatively flat and approximately 800 feet lower than the highest point at the RIO VISTA site.

An existing Union Pacific Railroad line runs adjacent to the eastern and southwestern boundaries of the site. Although no portion of the Union Pacific Railroad line is located within the RIO VISTA Specific Plan boundary, one (1) railroad crossing is located on 20th Street, approximately a ½-mile near east of the site, and one (1) railroad crossing is located approximately on Sierra Avenue, approximately ¾-miles southeast of the site. Obstructions to site ingress and egress are not anticipated.

3. PHYSICAL SITE CONDITIONS

The site consists of undeveloped, vacant land. A Southern California Edison easement containing tower-supported transmission lines enters the property from the northern boundary and traverses across portions of the site, exiting at the western boundary, along the alignment of 20th Street. Existing dirt roads and trails formed by off-road vehicles, equestrians, cyclists, and pedestrians crisscross the site. As shown on Figure I-4, *USGS Topo Map*, the site's topography consists of rolling hills upon which will sit RIO VISTA, and steep rugged hills on the south which are to be preserved and rolling topography within the central portion of the site.

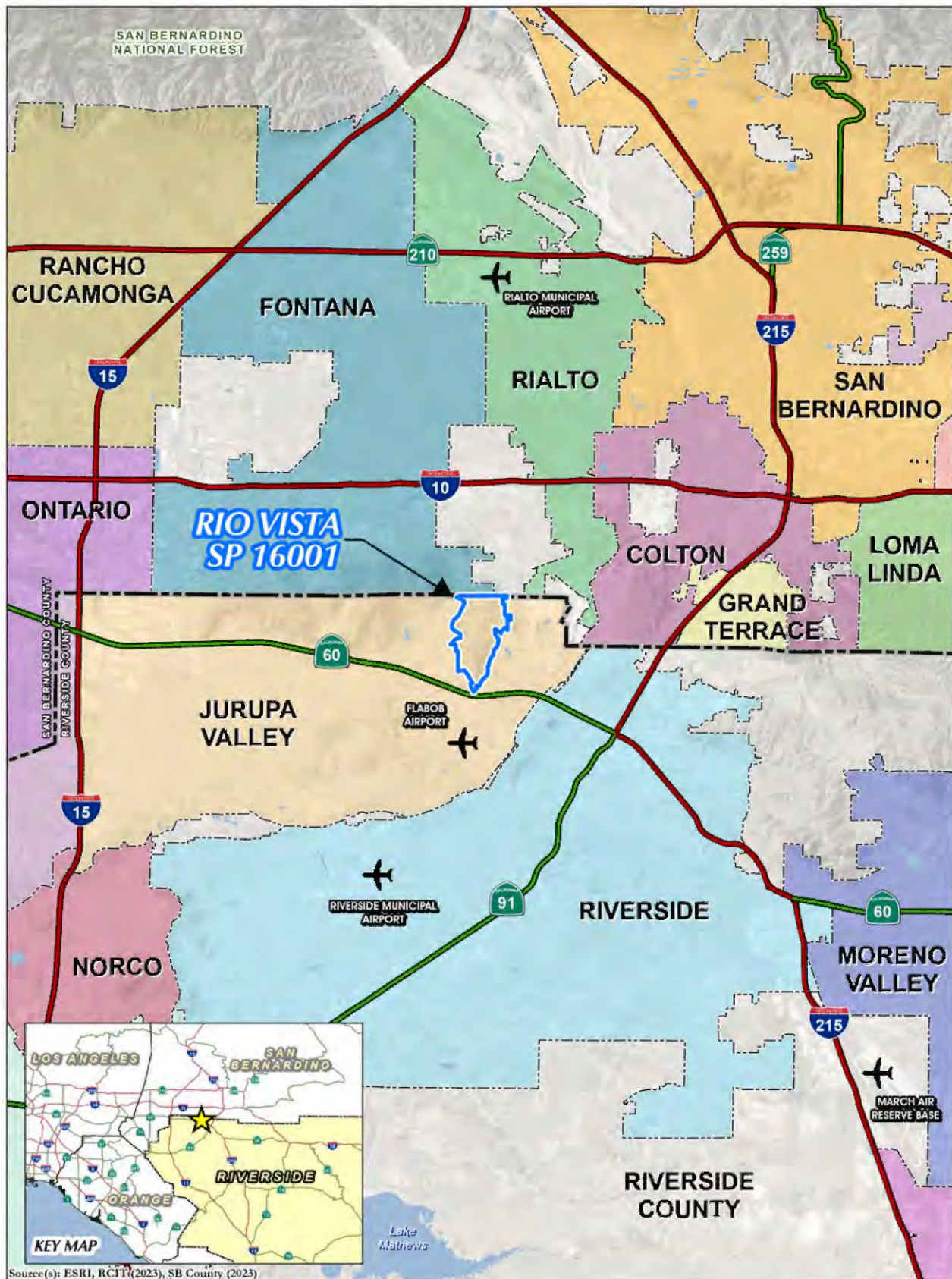
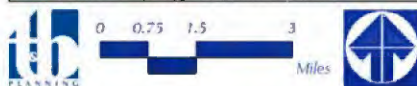


Figure I-1



Regional Map

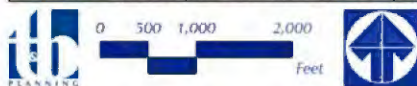


Figure I-2

Surrounding Development

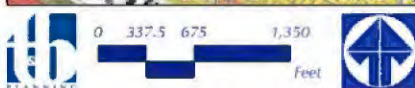
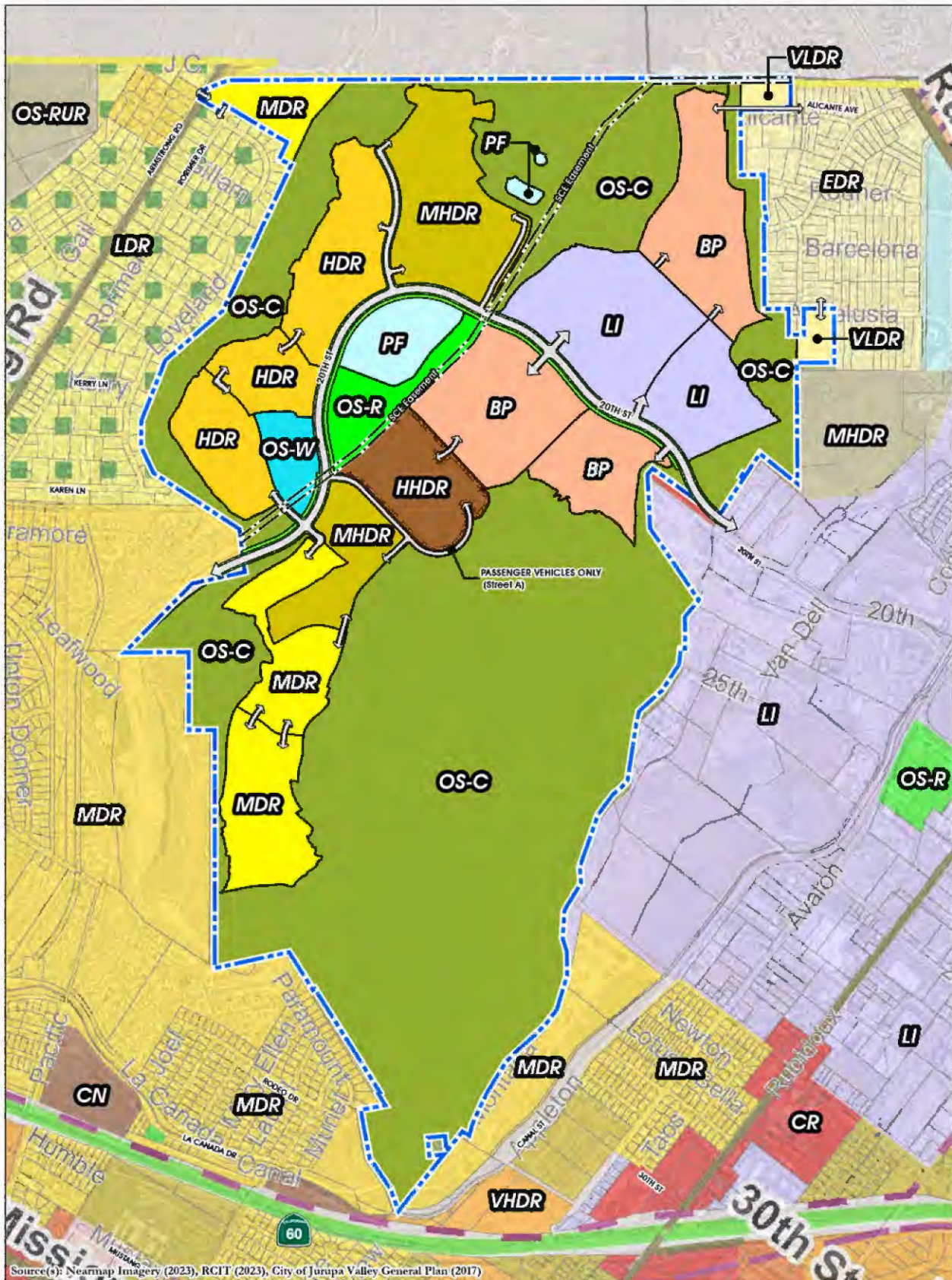


Figure I-3
Surrounding General Plan
Land Use Designations

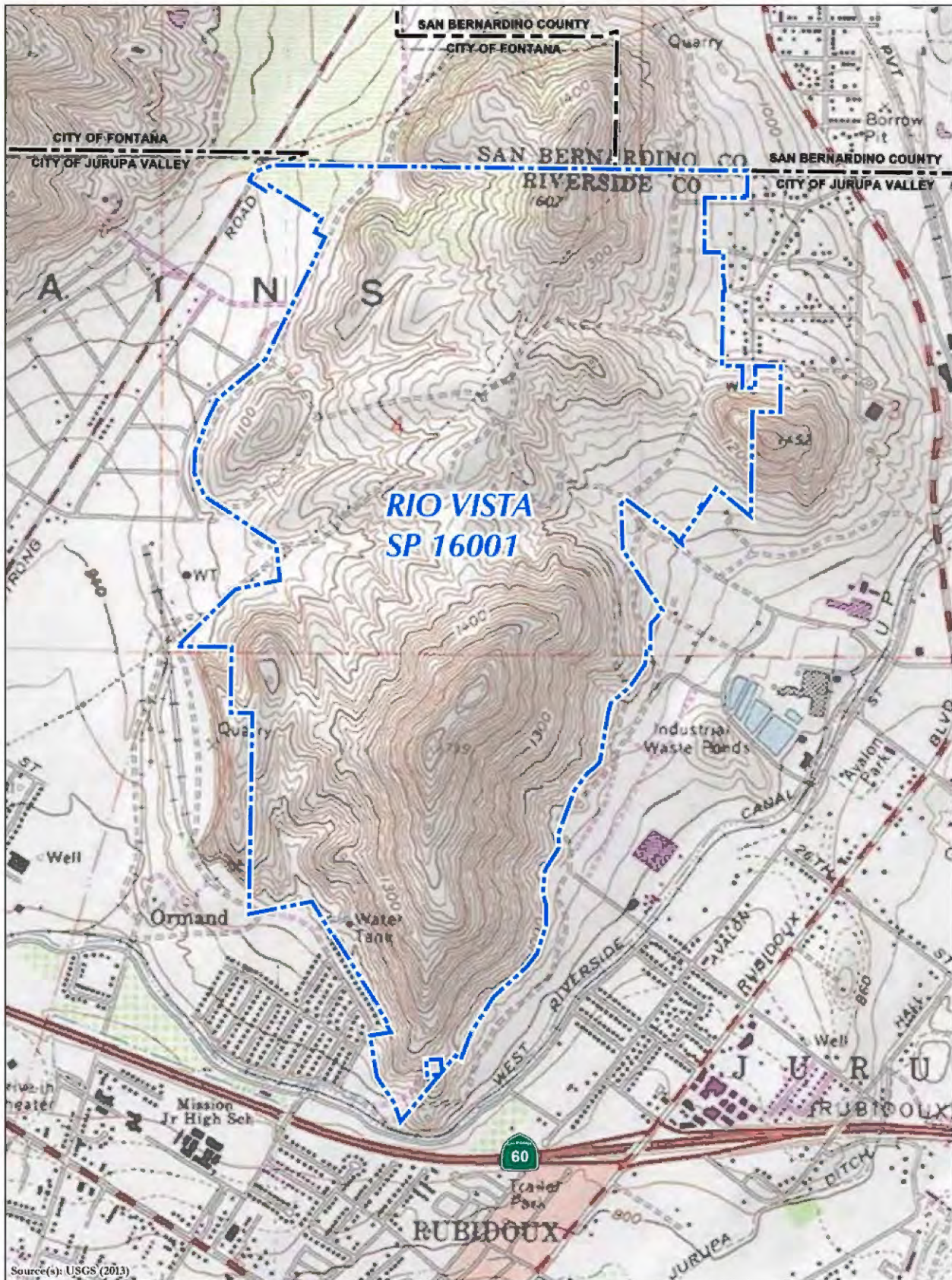


Figure I-4

USGS Topo Map

EXISTING GENERAL PLAN LAND USE DESIGNATIONS

PROPOSED GENERAL PLAN LAND USE DESIGNATIONS

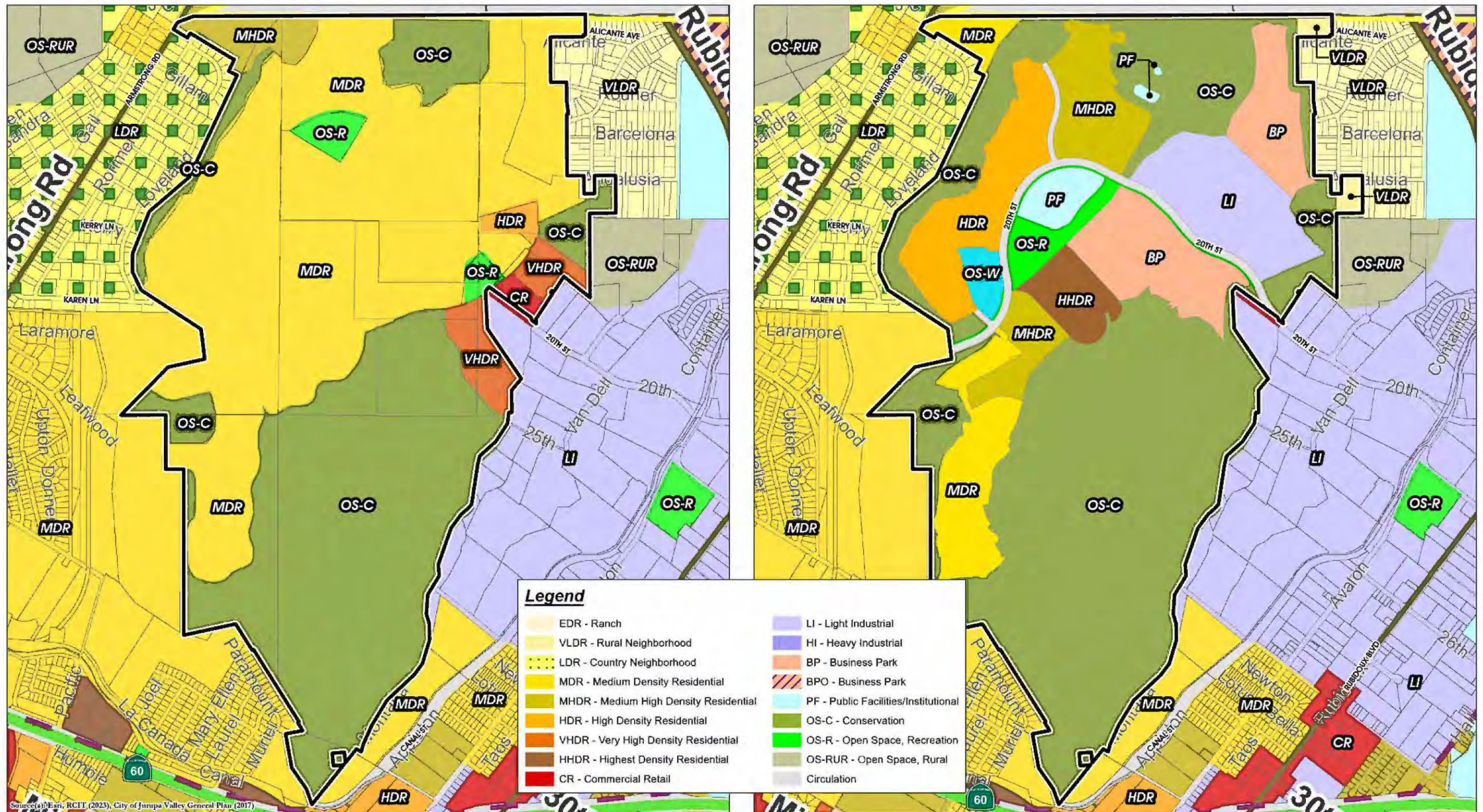


Figure I-5

Existing vs. Proposed General Plan Land Use Designations

C. PROJECT HISTORY

On April 14, 1992, the County of Riverside approved RIO VISTA Specific Plan No. 243 and certified its Environmental Impact Report (SCH. No. 1988122608). The adopted Specific Plan provided for the development of 1,697 homes, a 5.0-acre commercial site, two elementary schools, three neighborhood parks, a 14.0-acre equestrian center, and 405 acres of natural open space.

The RIO VISTA Specific Plan was originally located within unincorporated Riverside County. However, the City of Jurupa Valley was incorporated as a new city in 2011, and the City's boundaries now encompass the new RIO VISTA Specific Plan (SP 16001) area. All standards included within the RIO VISTA Specific Plan are reflective of City of Jurupa Valley General Plan, Municipal Code and other requirements. Amendments to the RIO VISTA Specific Plan and implementing projects are processed, reviewed, and considered by the City of Jurupa Valley in accordance with the City's General Plan and Ordinances.

D. PLANNING APPROACH

This RIO VISTA Specific Plan (SP 16001) has been created using an integrated, multi-disciplinary approach, including land planners, environmental resource specialists, civil engineers, landscape architects, and market analysts. This project team worked together to create a comprehensive development plan for the 917.3-acre site that is consistent with the planned and proposed future land uses of surrounding property and responds to development and population trends of the City of Jurupa Valley. The team also took great care to ensure that the development plan is consistent with the recommendation and requirements set forth by the City of Jurupa Valley General Plan. The RIO VISTA Specific Plan addresses the long-term needs of the City of Jurupa Valley by creating a distinct, ageless and diverse community that provides for preservation of scenic views and open space, light industrial and business park activities, a variety of home ownership opportunities, and community recreation amenities.

E. PROJECT GOALS

To ensure the functional integrity of RIO VISTA, the project team developed planning and development goals for the project based on extensive analysis. The analysis included an examination of topography, geology, engineering feasibility, demographics, market acceptance, economic viability, environmental and aesthetic effects, development phasing, City of Jurupa Valley General Plan Goals and Policies, and local community goals. The goals that guided the formation of the RIO VISTA Specific Plan are the following goals:

1. Provide a long-range comprehensive planning approach to guide the development of RIO VISTA.
2. Assist the City in meeting its housing goals and reflect anticipated market needs and public demand, by providing a diverse range of home types with the intent to blend into the City of Jurupa Valley's rural character.
3. Anticipate market demand by providing for a mixture of residential, light industrial, and business park land uses that are marketable and financially feasible within the City's evolving economic profile.

4. Provide economic growth and employment opportunities with the City by authorizing the development of light industrial and business park land uses at a sufficient scale to attract financially stable, long-term tenants and fund the necessary proposed critical infrastructure improvements that will serve Rio Vista and the greater Jurupa Valley community.
5. Adopt a Specific Plan that allows for a range of industrial uses, research and development uses, business park, and other nonresidential uses that would encourage private capital investment sufficient to support the significant public infrastructure improvements proposed on the project site.
6. Provide for the establishment of a mixed-use master-planned community that is sensitive to the environment and is aesthetically pleasing.
7. Create a community design that complements the land's topography by respecting and preserving the geology, rock formations, and basic landforms.
8. Protect valuable scenic resources within large expanses of open space, thereby preserving RIO VISTA'S character and identity and the surrounding region.
9. Provide a potential JUSD TK-6 school site to serve the needs of RIO VISTA and the surrounding area, if JUSD determines it is needed to serve projected demand.
10. Provide a community park and neighborhood parks to meet the needs of RIO VISTA residents and surrounding neighborhoods.
11. Establish a cohesive trail system that promotes active recreational uses and provides pedestrian links between the school site, parks, residential neighborhoods and open space.
12. Provide guidelines for architecture, landscaping, entry treatments, walls, fencing, parks, and trails that reinforce this community's identity and its relationship to the City of Jurupa Valley.

F. DOCUMENT PURPOSE

The RIO VISTA Specific Plan describes and provides both requirements, and guidelines for implementing a mixed-use master-planned commerce center and residential community in the City of Jurupa Valley. This Specific Plan document presents text and exhibits that describe the land use pattern, infrastructure system, and project amenities. Design Guidelines for site planning, architecture, landscape architecture, and other community elements ensure the development of a thematically coherent, well-appointed residential community. The RIO VISTA Specific Plan provides the City of Jurupa Valley, businesses, retailers, building tenants, home-builders, and residents with a comprehensive set of plans, regulations, guidelines, and programs for guiding the systematic development of the Specific Plan area.

II. SPECIFIC PLAN

A. LAND USE PLAN

1. COMMUNITY CONCEPT

Characterized by wide vistas and natural open space, RIO VISTA is a unique mixed-use master-planned residential community and commerce center offering a variety of home ownership and employment generating opportunities in the City of Jurupa Valley. Nestled into the hillsides overlooking the City, RIO VISTA encourages an active lifestyle through access to open space, a network of formal trails and pedestrian linkages, a central Community Park, and neighborhood parks.

As shown on Figure II-1, *Land Use Plan*, 510.8 acres (56%) of the 917.3-acre site remains open space, preserving the site's topography and natural character, with an additional 18.4 acres of the site dedicated to recreational amenities. In total, RIO VISTA designates over 529 acres of the site for Recreation and Open Space uses. RIO VISTA provides 18.4 acres of parkland; including a centrally located public Community Park, and neighborhood parks distributed throughout the community. In addition, expanded parkways provide pedestrian, equestrian, and cycling facilities along 20th Street, and formal equestrian, bicycle, and hiking trails are located within the open space.

Clustered into 11 neighborhoods, RIO VISTA provides for a target of 1,697 homes, comprised of detached single-family homes and multi-family units. Very Low Density Residential (VLDR) land uses provide for traditional detached homes on minimum 1.0-acre lots. Medium Density Residential (MDR) land uses provide for traditional detached single-family homes and clustered single-family homes. Medium-High Density Residential (MHDR) and High Density Residential (HDR) land uses also provide for detached single-family homes or attached single-family homes arranged around private lanes and multi-family units. Highest Density Residential (HHDR) land uses provide for attached multi-family homes arranged around apartment and multi-family product types. RIO VISTA includes a 13.4-acre JUSD potential school site (Planning Area 18), to accommodate a TK-6 school if needed. Planning Area 18 is located adjacent to the Community Park in the central portion of the Specific Plan, both of which take vehicular access from 20th Street.

Planning Area (PA) 18 may be developed with private or public school institutions and/or additional recreational area if the School District does not purchase PA 18 by the buildout of the 800th residential unit. In response to market demands, non-residential uses (mixed use, office, commercial, religious) may be developed in PA 18 as an alternative use subject to a Conditional Use Permit. PA 18 may be developed with a target of 56 DUs designated Medium-High Density Residential as an alternative to the school (not included in the 'Project Totals'), if the property owner submits documentation, to be reviewed and approved by the City Manager, determining that educational, non-residential, and/or recreational uses are infeasible. Under this circumstance, the total target dwelling units within RIO VISTA would be 1,753 dwelling units. Although development of the alternative 56 DUs would result in less potential impacts than the school use, further California Environmental Quality Act (CEQA) review may be required.

The RIO VISTA Specific Plan also provides for the development of a contemporary, commerce center on 140.3 acres located in the eastern portion of the site which include: Light Industrial uses on approximately 58.3 acres with a maximum of 1,269,774 square feet of building space, and Business Park uses on 82.0 acres with a maximum of 1,428,768 square feet of building space. The Light Industrial and Business Park land uses established by RIO VISTA are intended to attract new businesses and encourage the expansion creation of new light industrial, light manufacturing, research, self-storage, professional and retail services to the City of Jurupa Valley and the new residents that live within the RIO VISTA Specific Plan.

In addition to the Open Space, Residential, Recreation, and school uses, RIO VISTA also includes approximately 28.6 acres of roads, debris basins, water quality basins, pressure booster stations, and reservoirs, the exact location of which will be determined by implementing projects.

Figure II-1, *Land Use Plan* and Table II-1, *Land Use Designation Summary*, provides a detailed summary of the RIO VISTA land uses.

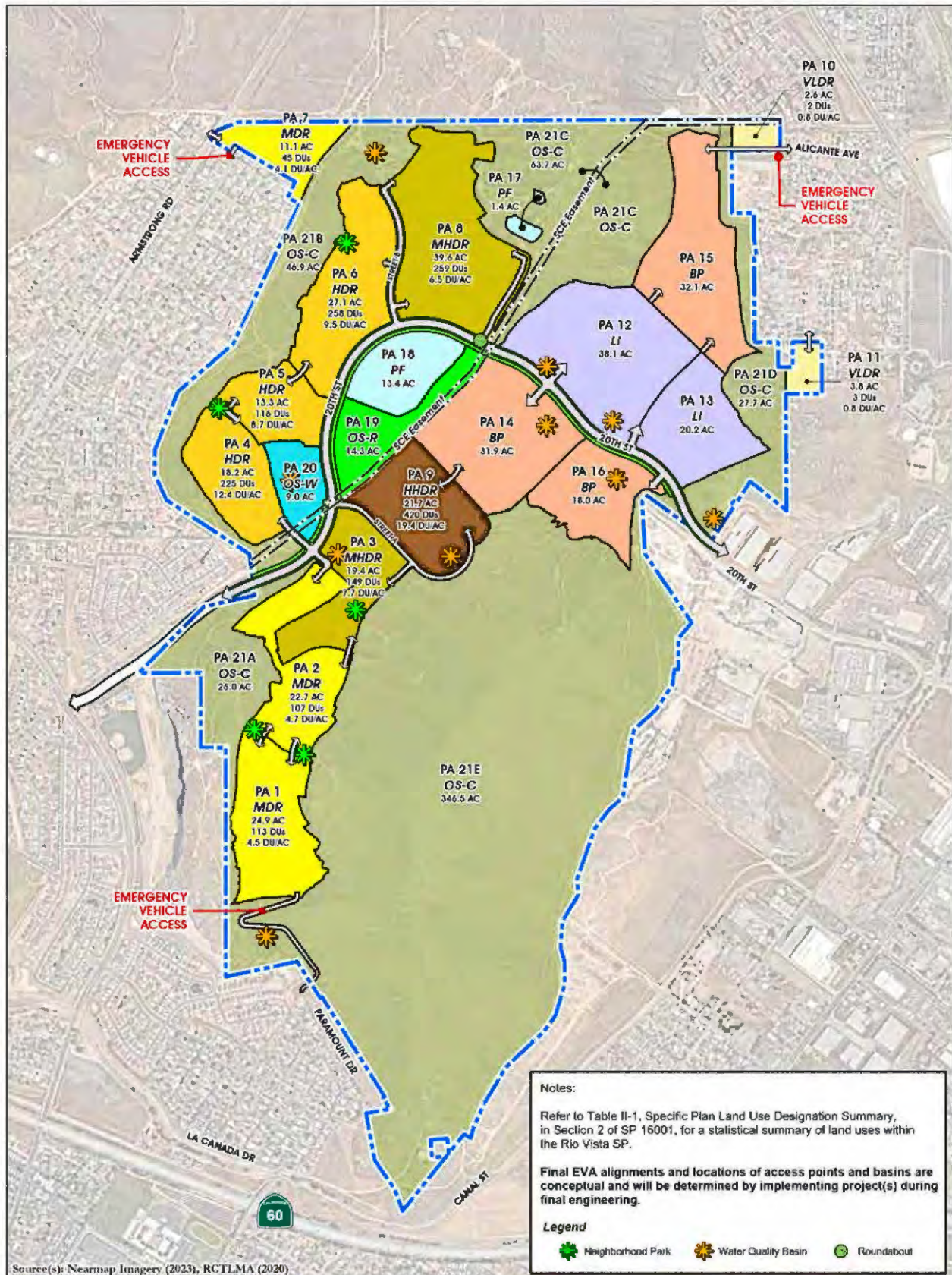


Figure II-1

Land Use Plan

Table II-1 Specific Plan Land Use Designation Summary

RESIDENTIAL				
LAND USE DESIGNATION	ACRES	TARGET DENSITY (DU/AC)¹	MAXIMUM DENSITY	TARGET DWELLING UNITS¹
Very Low Density Residential – VLDR (1-AC MIN)	6.4	0.8	1.0	5
Medium Density Residential – MDR (2-5 DU/AC)	58.7	4.5	5.0	265
Medium High Density Residential – MHDR (5-8 DU/AC)	59.0	6.9	8.0	408
High Density Residential – HDR (8-14 DU/AC)	58.6	10.2	14.0	599
Highest Density Residential – HHDR (25 DU/AC)	21.7	19.4	25.0	420
RESIDENTIAL SUBTOTAL	204.4	8.3	--	1,697
LIGHT INDUSTRIAL & BUSINESS PARK				
LAND USE	ACRES	FLOOR AREA RATIO (FAR)	TARGET BUILDING SQ. FT.	--
Light Industrial (LI)	58.3	0.5	1,269,774	--
Business Park (BP)	82.0	0.4	1,428,768	--
LIGHT INDUSTRIAL & BUSINESS PARK SUBTOTAL	140.3	--	2,698,542	--
OTHER				
LAND USE DESIGNATION	ACRES	TARGET DENSITY (DU/AC)¹	MAXIMUM DENSITY/ TARGET BUILDING SQ. FT.	TARGET DWELLING UNITS¹
Public Facility – PF (School, Water Tanks) ²	14.8	4.2	8.0	56
Open Space-Recreation - OS-R (Parks & Trails)	18.4	--	--	--
Open Space- Conservation – OS-C (Natural Slopes) ³	510.8	--	--	--
Open Space-Water – OS-W (Basin)	9.0	--	--	--
Circulation	19.6	--	--	--
OTHER SUBTOTAL	572.6	--	--	56
PROJECT TOTALS	917.3	--	2,698,542	1,697
Notes: <ol style="list-style-type: none"> Dwelling Unit count by Planning Area (PA) is approximate and may vary from PA to PA and may increase or decrease by up to 10% provided that the overall Dwelling Units in RIO VISTA do not exceed the Target Dwelling Unit (DU) count of 1,697. Within PA 7, the target DUs may increase up to 55 DUs provided that the overall DUs in RIO VISTA do not exceed 1,697 DUs. The target density of each PA may increase or decrease provided that the target density remains below the maximum density of the land use designation. A detailed discussion of the PA 18 alternative uses are provided in Section II.A.1. Open Space-Conservation includes natural areas, common areas, landscaped slopes, conservation areas, and Southern California Edison easement. 				

a. Open Space and Recreation Land Uses

RIO VISTA designates approximately 58% (529.2 acres) of the site for Open Space- Recreation and Conservation land uses. This total includes 510.8 acres of Open Space-Conservation and 18.4 acres of Open Space-Recreation land uses, consisting of a 14.3-acre Community Park, Neighborhood Parks that range approximately from 0.75-acre to 1.0-acre, and 4.1 acres of Expanded Parkways, which provide pedestrian, equestrian, and cycling facilities within a substantial portion of 20th Street right-of-way. An integrated system of hard and soft-surface (decomposed granite) trails also provides access from the residential neighborhoods to PA 18 and Community Park located in the Open Space. PAs 21A, 21B, 21C, 21D, and 21E allow for manufactured slopes, stockpile and borrow areas, water quality basins, Southern California Edison easement, and associated access roads.

Section III, *Permitted Uses and Development Standards*, and Section IV, *Design Guidelines*, of this Specific Plan, provide requirements and guidelines for the construction of the Open Space and Community Park.

b. Residential

RIO VISTA provides a range of home types to appeal to a variety of family sizes, household incomes, and lifestyle preferences. PAs 1 through 9 provide for the residential neighborhoods, consisting of attached and detached single-family/multi-generational homes with target densities ranging from 4.1 dwelling units per acre (DU/AC), in PA 7, to 19.4 DU/AC, in PA 9. Additionally, PAs 10 and 11 provide for homes with minimum 1.0-acre lots, at a target density of 0.8 DU/AC.

PA 18 may be developed with a target of 56 DUs designated Medium-High Density Residential use if it is determined that educational, non-residential, and/or recreational uses are not feasible. A detailed discussion of the PA 18 alternative uses are provided in Section II.A.1.

RIO VISTA includes five (5) residential densities, as described below:

- ❑ **Very Low Density Residential – VLDR (Target Density: 0.8 DU/AC; Maximum Density 2.0 DU/AC; Total Acres: 6.4):** RIO VISTA provides for a target of 5 homes at a density of 0.8 DU/AC and a maximum of 5 homes at a density of 2.0 DU/AC within PAs 10 and 11.
- ❑ **Medium Density Residential - MDR (Target Density: 4.5 DU/AC; Maximum Density 5.0 DU/AC; Total Acres: 58.7):** RIO VISTA provides for a target of 265 homes at a density of 4.5 DU/AC and a maximum of 295 homes at a density of 5.0 DU/AC within PAs 1, 2, and 7.
- ❑ **Medium-High Density Residential - MHDR (Target Density: 6.9 DU/AC; Maximum Density 8.0 DU/AC; Total Acres: 59.0):** RIO VISTA provides for a target of 408 homes at a density of 6.9 DU/AC and a maximum of 472 homes at a density of 8.0 DU/AC within PAs 3 and 8.
- ❑ **High Density Residential - HDR (Target Density: 10.2 DU/AC; Maximum Density: 14.0 DU/AC; Total Acres: 58.6):** RIO VISTA provides for a target of 599 homes at a density of 10.2 DU/AC and a maximum of 1,021 homes at a density of 14.0 DU/AC within PAs 4, 5, and 6.

- ☐ **Highest Density Residential - HHDR (Target Density: 19.4 DU/AC; Maximum Density: 25.0 DU/AC; Total Acres: 21.7):** RIO VISTA provides for a target of 420 homes at a density of 19.4 DU/AC and a maximum of 543 homes at a density of 25.0 DU/AC within PA 9.

Section III, *Permitted Uses and Development Standards*, provides the development standards for each PA.

c. School Site

RIO VISTA provides a 13.4-acre potential JUSD school site in PA 18, which can accommodate a TK-6 school, adjacent to 20th Street and the Community Park in the central portion of the community. The site is available to the Jurupa Unified School District for a school site if needed. PA 18 may be developed with private or public school institutions and/or additional recreational areas if the School District does not purchase PA 18 by the buildout of the 800th residential unit (Section II.A.1.C.). A detailed discussion of the PA 18 alternative use is provided in Section II.A.1. Under this circumstance, the total target dwelling units within RIO VISTA would be 1,753 dwelling units.

d. Community Roadways

RIO VISTA includes the construction of approximately 19.6 acres of roadways, including 20th Street, a Modified Secondary Highway (130' ROW), Collector Roads (Street B) (74' ROW), Industrial Collector (78' ROW), and Local Streets (Street A) (56' ROW). Collector Roads, Industrial Collectors Roads, and Local Streets provide sidewalks separated from the pavement by curb-adjacent landscaped parkways to enhance the community's pedestrian experience.

Curb-to-curb improvements for 20th Street will be constructed as part of Phase 1 to facilitate vehicular traffic, however, during Phase 1 of development, an interim condition for the landscape area, including sidewalks, is provided. Full-width improvements for 20th Street will be completed as part of Phase 2. Additionally, Street A provides secondary access for automobiles into PA 9, and Emergency Vehicle Access only for heavy commercial trucks. Three Emergency Vehicle Access roads (24' ROW) provide additional access to RIO VISTA from the southwest to PA 1, from the north to PA 7, and from the east to PA 10. The precise design and alignment of RIO VISTA's roadways is determined by implementing tentative tract maps and is subject to review and approval by the City of Jurupa Valley, prior to construction.

B. CIRCULATION PLAN

1. VEHICULAR CIRCULATION PLAN DESCRIPTION

Figure II-2, *Vehicular Circulation Plan*, illustrates the roadway concept for the RIO VISTA Specific Plan. The community's roadway network includes a hierarchy of roadways to meet residents and visitors' vehicular needs by providing safe, efficient, and direct access to residential neighborhoods and recreational amenities. Primary access to RIO VISTA is provided by 20th Street, a Modified Secondary Highway (130' ROW) that forms a spine through the community. Industrial Collector Roads (78' ROW) provide access from 20th Street to the Light Industrial and Business Park land uses. A series of Collector Roads and Local Roads provide access from 20th Street to and within RIO VISTA's neighborhoods. 20th Street may also serve as a potential bus route, and any future bus stops shall be constructed by the Riverside Transit Agency (RTA), per RTA and City standards.

The steep terrain on-site limits circulation connectivity opportunities to the existing communities to the northwest, southwest, and southeast of RIO VISTA. However, three Emergency Vehicle Access roads (24' ROW) provide additional access to RIO VISTA from the southwest to PA 1, from the north to PA 7, and from the east to PA 10. These Emergency Vehicle Access roads only allow for connectivity in the case of emergencies and do not degrade the quality of life or increase the traffic within the surrounding neighborhoods.

As shown on Figure II-3, *Freeway Connectivity*, regional access to the RIO VISTA community is primarily provided via State Route 60 (SR-60), located approximately 1.2 miles to the southwest of the community via Armstrong Road, 1.75 miles to the southeast via Rubidoux Boulevard, and approximately 2.15 miles to the southeast via Market Street. Access to PA 10 is provided by Alicante Avenue and access to PA 11 is provided by Andalusia Avenue, which will be accommodated per City standards during the design of implementing project.

The Conceptual Vehicular Circulation Plan includes the roadway sizes and classifications described below and illustrated in Figures II-4A and II-4B, *Roadway Cross-Sections*.

- ❑ **20th Street – Modified Secondary Highway (130' ROW):** The primary thoroughfare of RIO VISTA is 20th Street, which connects to Rubidoux Boulevard to the east and Sierra Avenue to the west, will be constructed in two phases (as part of Phase 1 and Phase 2). The RIO VISTA Specific Plan is responsible for the following improvements to 20th Street:
 - i. 20th Street Sections #1 and #2 (130' ROW): The ultimate full-width condition of 20th Street includes Section #1, from the western boundary of the Specific Plan to the Roundabout, and Section #2, from the Roundabout to the eastern boundary of PA 16. Section #1 of 20th Street consists of 26 feet of curb-to-curb paving in each direction with a 12-foot-wide landscaped median, which provides the road with a traffic calming and safety measure. Section #2 of 20th Street provides a painted median in place of the landscaped median to allow for truck maneuverability. The 20th Street right-of-way includes an 18-foot-wide landscaped parkway with a 5-foot-wide meandering sidewalk and 13 feet of landscaping, located on each side of the 20th Street right-of-way. Additionally, the 20th Street right-of-way accommodates a 10-foot-wide decomposed

granite Soft-Surface Trail and a 10-foot wide, hard surface, Class I bikeway, on either the north or south side of 20th Street, as determined by implementing projects.

- ii. 20th Street Section #3 (100'): The ultimate full-width condition of 20th Street, from the Collector road in PA 16 to approximately 750 feet west of the Project's eastern boundary, includes 26 feet of paving in each direction with a 12-foot-wide landscaped median, and an 18-foot-wide landscaped parkway with a 5-foot-wide meandering sidewalk and 13 feet of landscaping, located on each side of the 20th Street right of way.
 - iii. 20th Street Section #4 (100' – 106.3' ROW): The ultimate full-width condition of 20th Street, at the eastern boundary of the Specific Plan, includes a landscaped parkway, varying in width, on the northerly right-of-way, 24 feet of curb-to-curb paving in each direction with a painted median varying in width, and an 18-foot-wide landscaped parkway with a 5-foot-wide meandering sidewalk and 13 feet of landscaping on the southerly right-of-way.
- ❑ **Roundabout:** Heavy commercial truck traffic is prohibited from entering and exiting the western segment of 20th Street. A roundabout, along with signage and circulation design features and measures, may be provided within 20th Street to discourage heavy commercial truck traffic from exiting Rio Vista to the west, and within Street A to discourage heavy commercial truck traffic from accessing PA 3. A conceptual roundabout location is illustrated on Figure IV-8A, Conceptual Roundabout Streetscape. The final details, design, and location of the roundabout will be determined during the design of implementing project(s). The roundabout will extend across the SCE Easement along 20th Street, fronting PAs 8 and 19. In addition to the roundabout, additional design features and signage to be determined with implementing project (s) is encouraged to be provided along 20th Street to prohibit heavy commercial truck traffic from exiting Rio Vista to the west, and from accessing PA 3.
- ❑ **Industrial Collector Roads (78' ROW):** Industrial Collectors are provided into PAs 12, 13, 14, 15, and 16, connecting 20th Street to the Light Industrial and Business Park land uses of RIO VISTA. The Industrial Collector consist of 56 feet of curb-to-curb paving, including a 12-foot-wide painted median. Industrial Collectors also feature 5-foot-wide curb-separated sidewalks and 6 feet of curb-adjacent landscaping on both sides of the roadway.
- ❑ **Collector Roads (74' ROW):** Local Collector Roads connect 20th Street to the local neighborhood roads. Local Collector Roads consist of 44 feet curb-to-curb with 5' wide curb-separated sidewalks and 10 feet of landscaping on both sides of the roadway. Street A provides secondary access for automobiles into PA 9, and Emergency Vehicle Access only for heavy commercial trucks. Street B provides access for automobiles into PAs 6 and 8.
- ❑ **Local Roads (56'-59' ROW):** Local Roads provide neighborhood access and may either be 56' ROW or 59' ROW (within PA 8 only). A segment of Street A transitions from a Collector Road at 20th Street to a Local Road (56' ROW). The 56-foot ROW consist of 36 feet curb-to-curb with 5-foot-wide curb-separated sidewalks and 5 feet of curb-adjacent landscaping on both sides of the street, which allows for parking on both sides of the street. The 59-foot ROW, which accommodates utilities within the ROW, consist of 39 feet curb-to-curb with 5-foot-wide curb-separated sidewalks and 5 feet of curb-adjacent landscaping on both sides of the

street, which allows for parking on both sides of the street. The right-of-way widths internal to PAs will be determined during the implementation of projects.

- ❑ ***Emergency Vehicle Access Roads (24' ROW):*** Emergency Vehicle Access roads shall provide all-weather surface, meet minimum width and maximum grade requirements per Fire Department, and built-in accordance with Riverside County Fire Department (CAL FIRE) standards. An Emergency Vehicle Access Road provides additional access to the southwestern portion of RIO VISTA and PA 1 from Paramount Drive, which is located immediately south of RIO VISTA, and may also serve as an evacuation route for residents in the event of an emergency. An Emergency Vehicle Access Road provides additional access to the northwestern portion of RIO VISTA and PA 7 from Rorimer Drive, which is located immediately south of PA 7. One Emergency Vehicle Access Road will provide additional access to PA 10 from Alicante Avenue, located immediately east of RIO VISTA, and will only be constructed as part of PA 10's development. The Emergency Vehicle Access Road which connects PA 15 to Alicante Road, will be constructed as part of the PA 15's development, and may also serve as a trail connection to the existing neighborhoods located to the east.

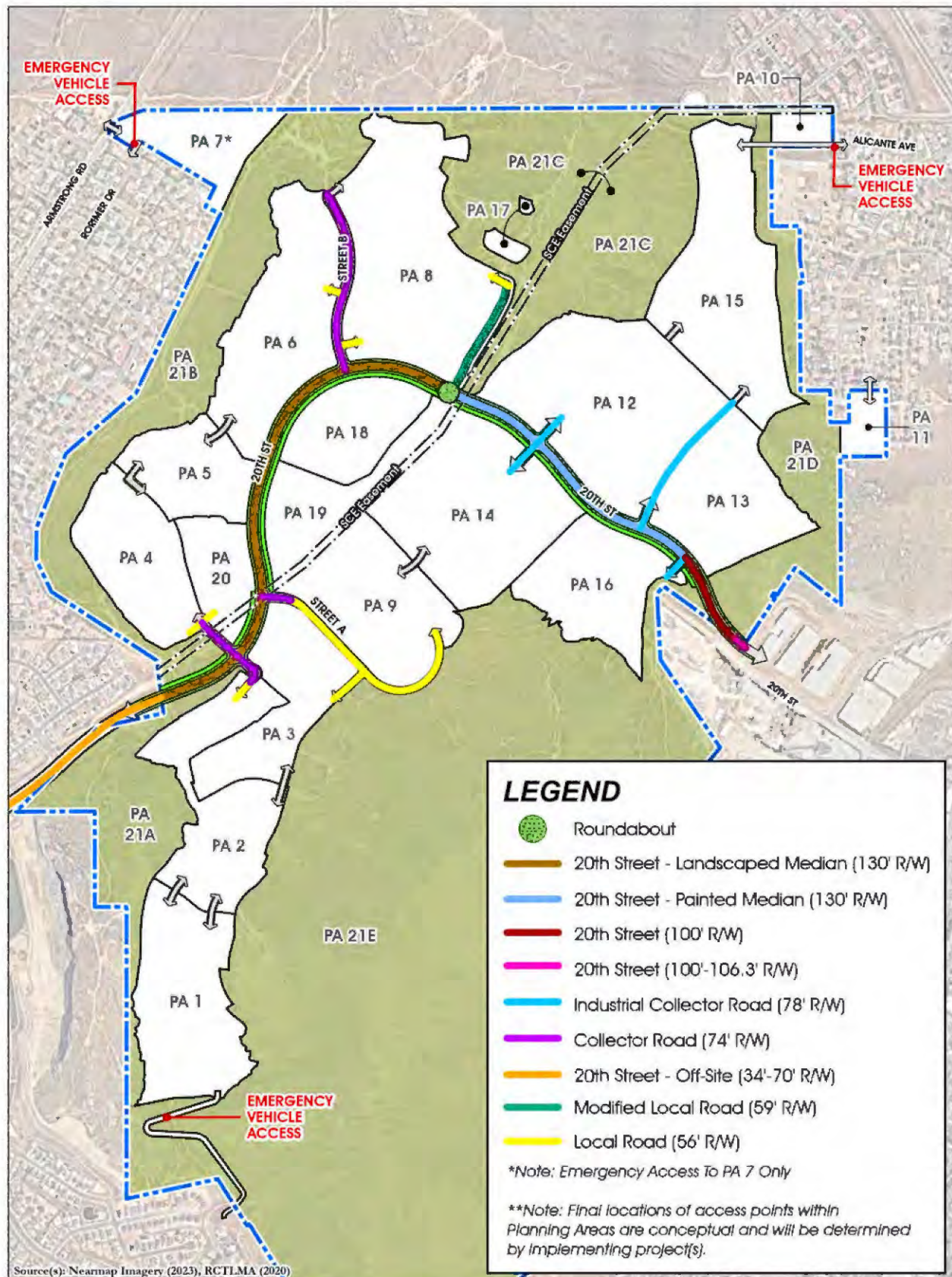
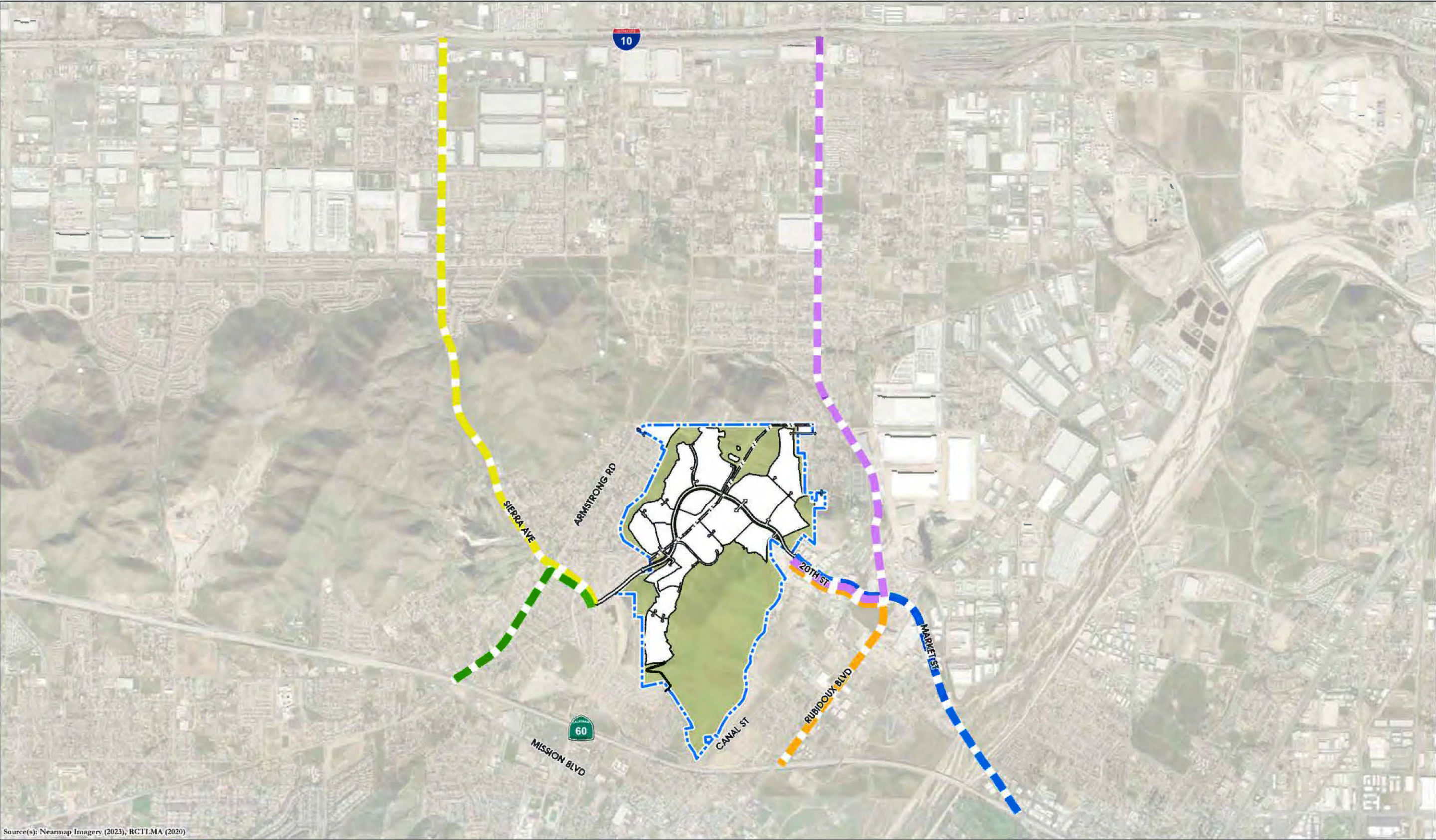
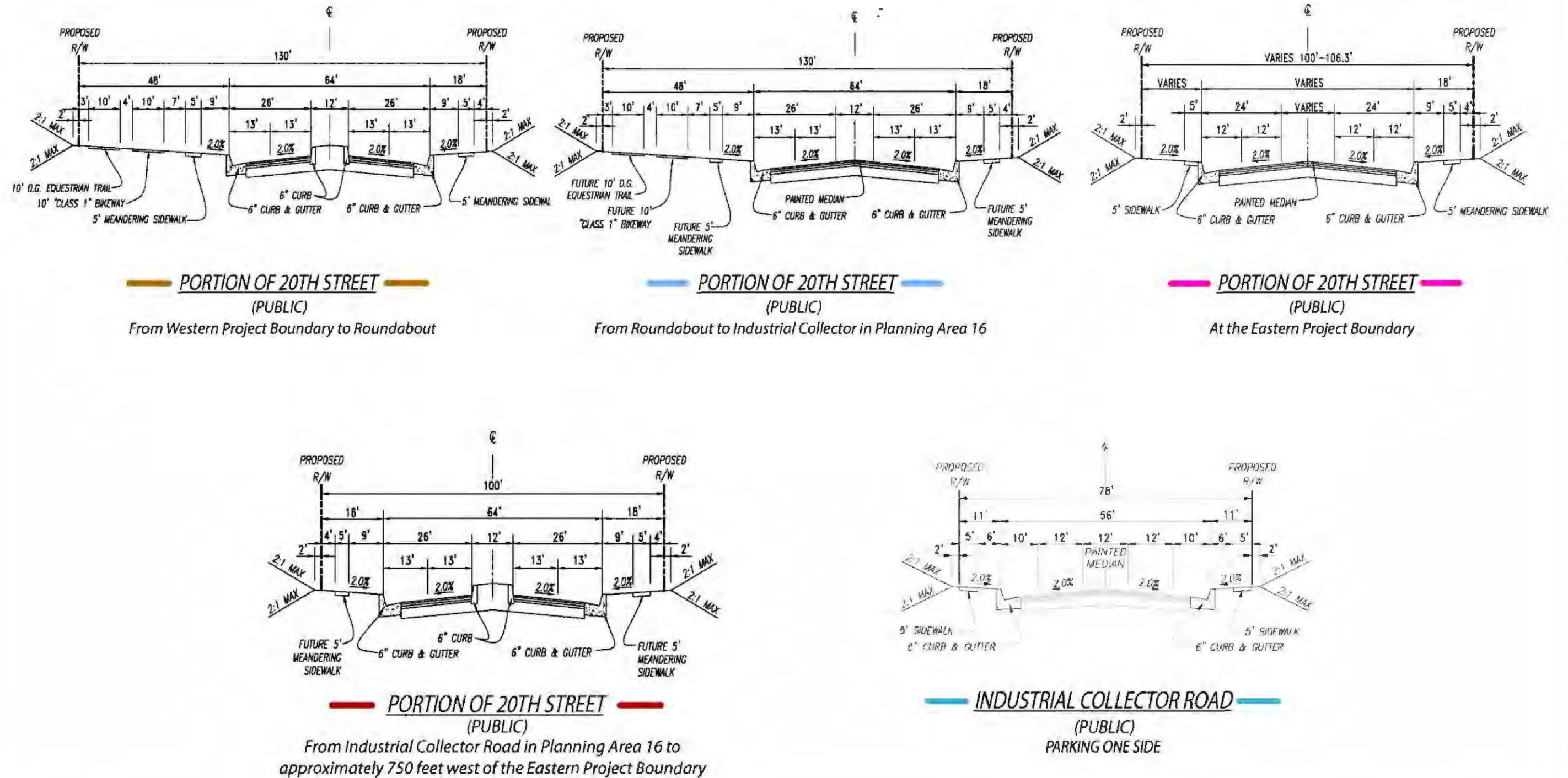


Figure II-2

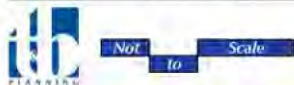


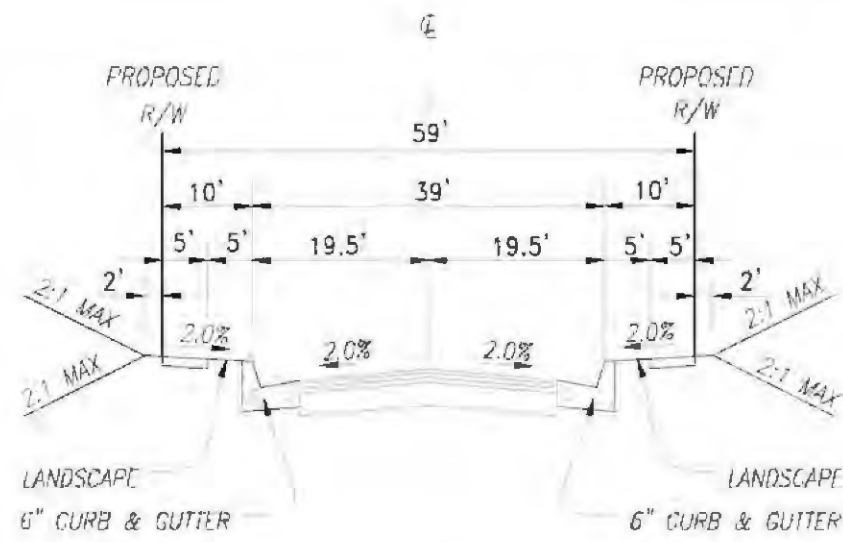
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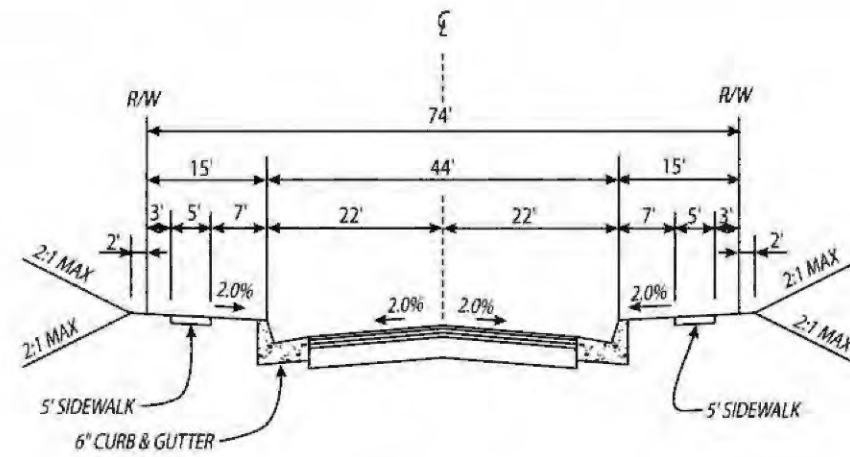
Source(s): Hunsaker (05-18-2023)





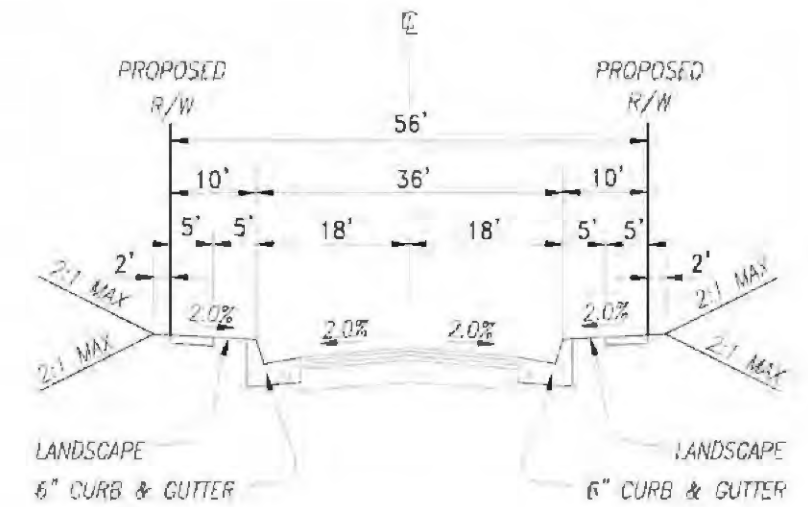
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(PUBLIC)
WITHIN PLANNING AREA 8



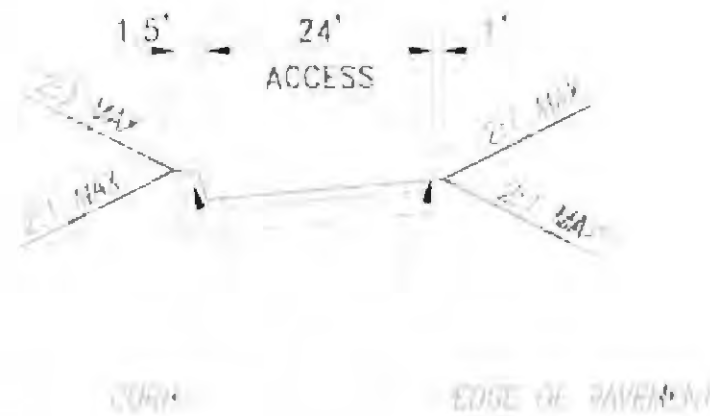
COLLECTOR ROAD

(PUBLIC)
Streets A and B



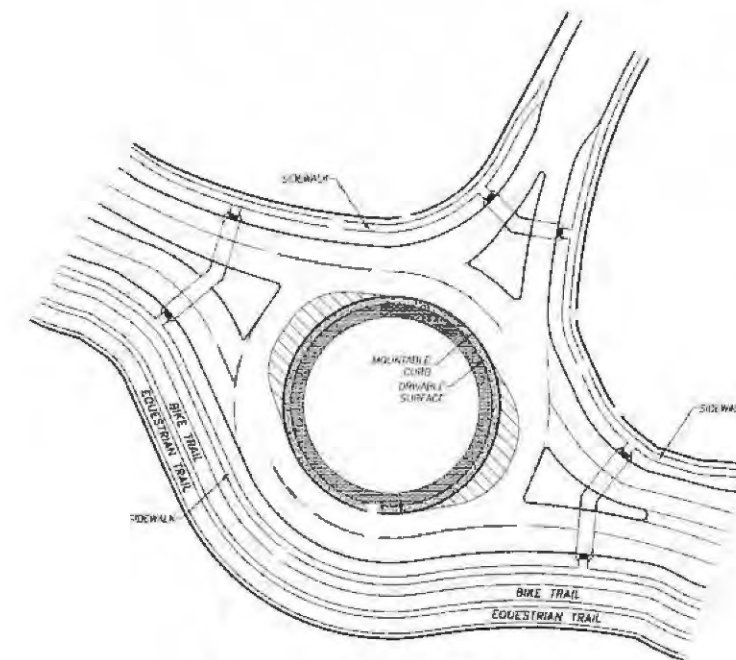
LOCAL STREET

(PUBLIC)
PARKING ONE SIDE



EMERGENCY VEHICLE

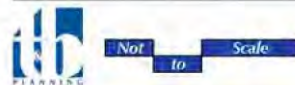
ACCESS
(PRIVATE)



ROUNDAABOUT DETAIL

Note: The roundabout detail is conceptual.
The final details, design, and location of the roundabout will be determined during final engineering.

Source(s): Hunsaker (12-08-2022)



C. OPEN SPACE AND RECREATION PLAN

1. OPEN SPACE AND RECREATION PLAN DESCRIPTION

With 510.8 acres of natural open space, a 14.3-acre Community Park, and five Neighborhood Parks, open space and recreation are approximately 58% of the site and are significant components of RIO VISTA, as illustrated on Figure II-5, *Open Space and Recreation Plan*.



a. Open Space

Natural open spaces characterized by scenic vistas form a prominent aspect of RIO VISTA, providing both visual amenities and recreation opportunities. Approximately 510.8-acres are designated Open Space-Conservation and consist of natural preserved hillside and revegetated manufactured slopes that complement the natural terrain, aid in fire protection, and provide a visual transition at the neighborhood perimeters.

b. Community Park

Centrally located within RIO VISTA in PA 19, the Community Park offers 14.3 acres of recreational facilities, including sports fields, open turf play areas, sports courts, tot lot playground, and picnic amenities. The eastern portion of PA 19 located within the SCE Easement is prohibited to construct any buildings or structures, however, recreational trails or open fields may be provided.

c. Neighborhood Parks

To provide residents with recreational opportunities close to their homes, Neighborhood Parks of varying sizes, ranging from 0.75 to 1.0-acre, are located throughout the community in PAs 1, 2, 3, 4, 5, and 6. Amenities within the Neighborhood Parks include benches, seating areas, and open lawn areas. The precise location, design, and amenities provided in the Neighborhood Parks shall be determined by implementing projects. Neighborhood Park construction shall be substantially

complete prior to the issuance of a Certificate of Occupancy of the 75th percentile home within the PA.

d. Trails

Trails for equestrians, bicyclists, and pedestrians form an integrated system of hard and soft-surface (decomposed granite) paths throughout RIO VISTA, as illustrated on Figure II-5, *Open Space and Recreation Plan*. The trails complement the existing trail traversing the natural open space. Please note that erosion control plans and terrain restoration for graded areas shall be provided and determined by implementing projects. The trail and sidewalk system includes:

- ❑ **Bike Path & Soft-Surface Trail** – A 10-foot-wide decomposed granite soft-surface trail and a 10-foot-wide Class I, hard surface Bike Path are located within the 20th Street right-of-way, forming a central spine of trails through the RIO VISTA community. The trail will connect to an existing trail at the western boundary of the Specific Plan, and will transition into a proposed sidewalk at the eastern boundary of PA 13, where it will ultimately connect to an existing sidewalk system outside the Specific Plan boundary. The trail will also connect to the community’s internal pedestrian sidewalk system, which provide access to the existing trail system in PA 21E via the adjacent PA 9, as described in the Existing Trail System section below.
- ❑ **Sidewalks** – Sidewalks separated by curb-adjacent landscaped parkways are located on all Collectors, Industrial Collectors, and Local Streets, to provide a pedestrian network that connects each home to the trails and amenities located throughout RIO VISTA.
- ❑ **Emergency Vehicle Access Path** – The Emergency Vehicle Access (EVA) path extending from PA 15 and PA 10 to the adjacent off-site residential communities, may also serve as a pedestrian connection via a sidewalk. The EVA will provide connection for Rio Vista residents and existing residents to the surrounding open space and hillside development.
- ❑ **Soft Surface Trail** – A 6-foot-wide trail is provided along the southern and eastern boundary of Planning Area 16, extending from the existing trail in Planning Area 21E to a trailhead in 20th Street. The trail will consist of a 2-foot shoulder, a 6-foot-wide soft surface trail, and a 2-foot shoulder within a 10-foot-wide trail easement.
- ❑ **Existing Trail System** – As shown in Figure II-5, *Open Space and Recreation Plan*, RIO VISTA will retain the existing wilderness foot trails on site that are located within the open space (PA 21E) for use by residents and the public. RIO VISTA will legalize the accessibility of approximately 3.1 miles of trails within the dedicated open space area provided by RIO VISTA development for public enjoyment. These accessible trails provide recreational opportunities and features, including spectacular views from the Rattlesnake Mountain peak. The publicly accessible trails that RIO VISTA provides connection from the central area of the site, adjacent to PAs 9, 14, and 16, to the westerly area adjacent to PAs 1-3, and down to the southerly end of the site adjacent to Canal Street. A minimum of one (1) trailhead will be provided in an accessible area via a public street or a private street with no public access restriction (e.g. vehicle access or “no public access” signage to the trailhead. Adjacent PA’s shall accommodate parking for trail users in accordance with Jurupa Valley Municipal Code. The existing trails shall remain dirt foot paths and will have

minimal improvements or erosion control by the JARPD, or other similar maintenance entity.

e. Lighting

For the security and safety of future residents, lighting of recreational facilities and parks is required, and bollards are required along pedestrian paths, trails, or gathering areas. Please refer to Section IV, *Design Guidelines*, for outdoor lighting standards. Street lighting on public streets shall meet County standards.

f. HHDR Recreational Areas

Community pools or other recreational amenities are included in PA 9 to provide private recreational opportunities to residents of the compact neighborhood. The precise locations and types of recreational amenities to be provided within PA 9 shall be determined in conjunction with the PA's buildout. Therefore, the phasing of such recreational areas shall be determined by the implementing subdivision map(s). These recreational uses shall be private and, therefore, owned and maintained by the management entity for the development.

Section IV, *Design Guidelines*, provides guidelines for the Community Park, Neighborhood Parks, and Trails system.

2. QUIMBY PARKLAND REQUIREMENT

In accordance with the City of Jurupa Valley's Municipal Code (Section 7.25.020), Rio Vista is required to provide 12.8 acres of parkland. RIO VISTA provides, at minimum, 14.3 acres of public recreational areas with a Community Park within PA 19, which affords 14.3 acres of parkland credit. Therefore, RIO VISTA exceeds the park land dedication requirements of the City of Jurupa Valley by 1.5 acres. The final number of dwelling units and corresponding population generated by RIO VISTA shall determine the final amount of parkland designation, dedication, and/or payment of fees to satisfy both City and State requirements for parkland exceeding the 14.3-acre Community Park within PA 19.

According to the current requirements in the City Municipal Code, Section 7.25.020, residential development must provide 3.0 acres of active parkland per 1,000 residents. RIO VISTA provides for the development of a target of 1,697 homes, which includes 678 single-family dwelling units (with attached garages) within VLDR, MDR, and MHDR land use designations and 1,019 multi-family dwelling units within HDR and HHDR land use designations. Using population generation rates from Section 7.25.020 of the City's Municipal Code, RIO VISTA may be home for up to 4,284 residents, (678 single-family homes x 2.59 persons per household = 1,756.02 persons; and 1,019 multi-family homes x 2.48 persons per household = 2,527.12 persons), generating a parkland requirement of 12.8 acres [(4,283 residents/1,000 residents) x 3.0 acres = 12.8 acres].

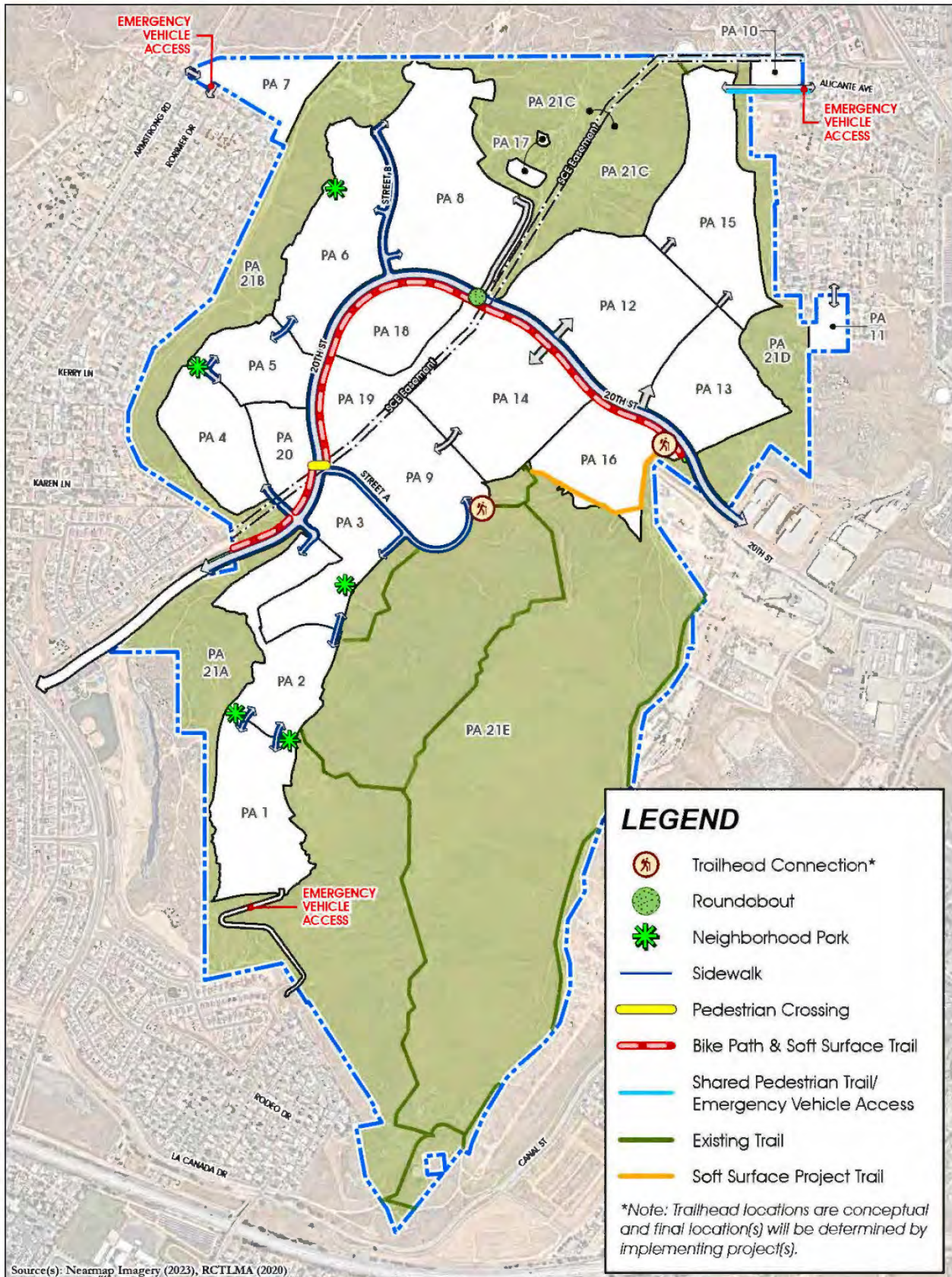


Figure II-5

Open Space and Recreation Plan

D. DRAINAGE PLAN

1. DRAINAGE PLAN DESCRIPTION

As shown in Figure II-6, *Master Drainage Plan*, storm water management within the community is accomplished with a combination of in-street catch basins and storm drains, which consolidate storm flows into water quality basins whose size and location will be determined by implementing projects. The water quality basins treat storm water prior to discharging to proposed and/or existing off-site storm water facilities.

Due to the RIO VISTA site's topography, the on-site storm water system is comprised of five (5) stormwater drainage areas, described below. Due to PA 7's location adjacent to Armstrong Road and existing neighborhoods, PA 7 will drain directly within Armstrong Road. Additionally, due to PAs 10 and 11's location to Alicante Avenue, Andalusia Avenue, and existing neighborhoods, drainage facilities from PAs 10 and 11 will connect to existing above ground drainage facilities. Please note that erosion control plans and terrain restoration for graded areas shall be provided and determined by implementing projects.

- ❑ **Southern Drainage Boundary:** Stormwater originating within the southern portion (southern portion of PA 1 as part of Phase 2) of the site is conveyed into a basin, and then outlets to existing off-site facilities within the adjacent residential neighborhood to the south of the RIO VISTA site.
- ❑ **Western Drainage Boundary:** Stormwater originating within the western portion (PAs 4, 5, 6, 17, and 18 [Phase 1]; PA 9 and a portion of PA 14 [Phase 3]; and PA8 [Phase 4]) of the site drain into one (1) of three (3) detention/water quality basins. Flows from the basins are conveyed via a downstream storm drain system to two (2) existing storm drain facilities located in the adjacent tract and 20th Street, which ultimately discharges west to the Sunnyslope Channel.
- ❑ **Northern Drainage Boundary:** Stormwater originating within the northern portion (portions of PAs 8, 17, 21B, and 21C) of the site drain into 2 debris basins within PA 21C, and then conveyed into an on-site detention/water quality basin within PA 21B. Flows from the basin discharge on-site to the existing drainage course with an energy dissipator.
- ❑ **Eastern Drainage Boundary:** Stormwater originating within the eastern portion (PAs 12, 13, 14, 15, and 16 as part of a portion of Phase 3) of the site drains into one (1) of five (5) basins, including four (4) water quality/retention basins within PAs 12, 14, and 16, and one (1) flow-by detention basin within PA 21D. Flows from the basins are conveyed southeast via a downstream storm drain system in 20th Street to an existing 84-inch reinforced culvert pipe (RCP) at the intersection of Avalon Street and 20th Street. Peak flows leaving the Project site are diverted to a flow-by detention basin where flows are then mitigated to meet downstream capacity requirement.

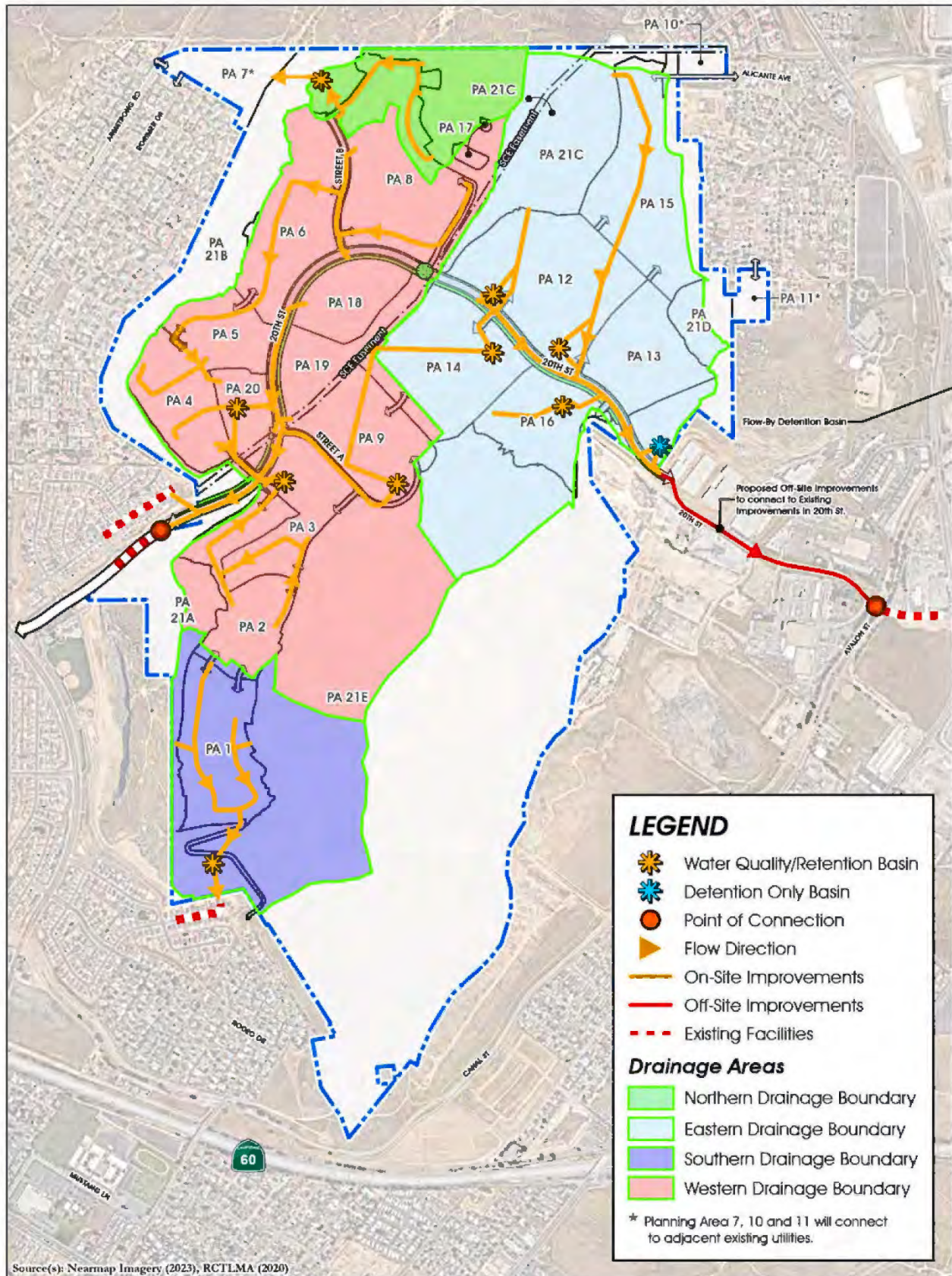


Figure II-6

Master Drainage Plan

E. WATER AND SEWER PLANS

1. WATER PLAN DESCRIPTION

The RIO VISTA Specific Plan lies within the service boundaries of two community water districts, the Jurupa Community Services District (JCSD) and Rubidoux Community Services District (RCSD); however, only the Rubidoux Community Services District (RCSD) will provide water service to RIO VISTA. As shown on 0, *Master Water Plan*, RIO VISTA is located within potable water pressure zones 1360 and 1440 of the RCSD. Due to their locations adjacent to existing neighborhoods, PA 7 will connect to adjacent existing water facilities in Armstrong Road and is served by RCSD; PA 10 will connect to adjacent existing water facilities in Alicante Avenue; and PA 11 will connect to adjacent existing water facilities in Andalusia Avenue.

The RIO VISTA Specific Plan water system (except for PAs 7, 10, and 11) is connected to the existing municipal water system via an extension of the 16-inch feeder main within 20th Street at the east side of the project. The 16-inch feeder main within 20th Street is at a lower pressure (Zone 1066) than the two zones required to serve the RIO VISTA Specific Plan (Zones 1360 and 1440), and therefore a pressure booster station is required at or near the point of connection. The booster station forces water through the 16-inch diameter feeder main to the three above ground water reservoirs within PA 17. Two 1.15 MG reservoirs provide water for the Zone 1360, while the other 0.33 MG reservoir provides water for the Zone 1440 portions of the community.

Pursuant to Rubidoux Community Services District's (RCSD) 2022 Water Master Plan and 2024 Addendum expected to be adopted in Fall 2024, RCSD will be providing water, sewer, and fire services to the Rio Vista project. The following improvements, which have been identified in the project area and are included herein for conceptual planning purposes. The improvements may change as Rio Vista and other projects are implemented in the RCSD service area.

- ❑ The 20th Street Water Storage Reservoir will be constructed and have a capacity of 3.65 million gallons.
- ❑ The 1360' Redundant Booster Pump Station will be constructed near the northern terminus of Paramount Drive and will provide emergency and redundant pumping from the 1060' to the 1360' Pressure Zone, with a capacity of 350 gallons per minute.
- ❑ The Wilson Street Intertie with the West Valley Water District is a RCSD-funded project initiated under an agreement between RCSD and the City of Riverside to address TDS levels in wastewater. Construction of the Intertie will be required when 750 new Equivalent Dwelling Units (EDUs) are constructed in RCSD.

Pressure Zone 1440

PA 8 (eastern portion of Phase 4) is served by Zone 1440, and are gravity fed through a 12-inch main to the Zone 1440 reservoir. 8-inch lines manifold from this main and supply the residential neighborhoods with water for domestic use, landscaping and fire protection.

Pressure Zone 1360

Zone 1360 is divided up into four distinct service areas, PAs 4, 5, 6, 18, 19, and 20 (Phase 1); PAs 1, 2, and 3 (Phase 2); and PAs 9, 12, 13, 14, 15, and 16 (Phase 3).

- ❑ PAs 4, 5, 6, 18, 19, and 20 (Phase 1) are served by Zone 1360 and include two Pressure Reducing Valves within PAs 4 and 5.

- ❑ PAs 1, 2, and 3 are served by Zone 1360 (Phase 2), and are an extension of the Phase 1 improvements north of 20th Street. Water supply for PAs 1, 2, and 3 is gravity fed from the two Zone 1360 reservoirs and the Zone 1440 reservoir. A proposed 8-inch water main in Street A connects to the proposed 12-inch water main in 20th Street, which will connect to the proposed 16-inch feeder main in the eastern portion of 20th Street. These improvements are a part of Phase 2.
- ❑ PAs 9, 12, 13, 14, 15, and 16 (Phase 3) are served by Zone 1360 and are gravity fed from the two Zone 1360 reservoirs within PA 17. A single 16-inch water main connects the eastern portion of the Specific Plan to the reservoirs. These improvements are a part of Phase 3.

Domestic water is supplied to individual PAs by 8-inch lines located within local road ROWs, which connect to the 12-inch water mains located within 20th Street and Collector Roads that connect to the on-site water tanks. The water infrastructure also provides fire hydrants and irrigation to the community's parks. On-site facilities are sized in accordance with RCSD criteria based on the land uses identified within the RIO VISTA Specific Plan. The RIO VISTA Specific Plan does not provide reclaimed water on-site.

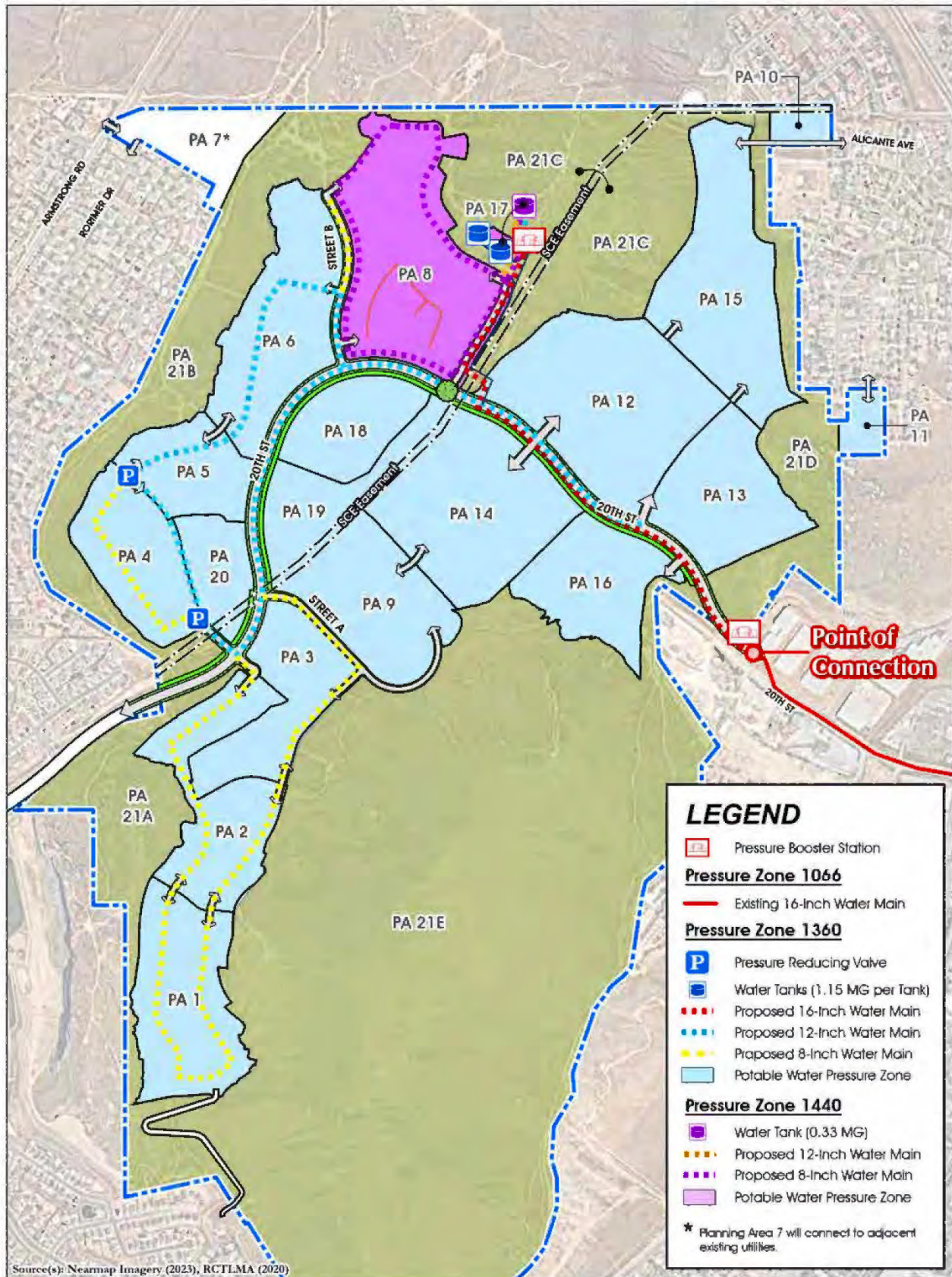
2. SEWER PLAN DESCRIPTION

The Rubidoux Community Services District (RCSD) provides sewer service for the RIO VISTA Specific Plan. Wastewater treatment for the community occurs at the Riverside Regional Water Quality Treatment Plant located within the City of Riverside to the southwest. All wastewater for RIO VISTA shall be transported through the on-site system to one of three points of connection with existing sewer main at the eastern, western, and southern project boundary, as depicted on 0, *Master Sewer Plan*. The sewer system for the RIO VISTA Specific Plan requires 8-inch gravity sewer lines within local roads to collect wastewater from individual PAs and transport the wastewater to the existing off-site gravity sewer main lines.

Wastewater from the eastern portion of the Specific Plan is transported to a point of connection at an 8-inch sewer main within the segment of 20th Street at the Specific Plan's eastern boundary, and, ultimately transported via sewer lines, ranging between 8 inches and 12 inches in size, to an existing 15-inch sewer trunk main in Agua Mansa Road, southeast of the Specific Plan. Wastewater from the northern and central portions of the Specific Plan is transported to a point of connection at an existing 15-inch sewer main within the segment of 20th Street immediately west of the Specific Plan's western boundary, and continues south on Sierra Avenue. Wastewater from the southern portion of the Specific Plan is transported to a point of connection at an existing 8-inch sewer main in the adjacent residential neighborhood to the south within Paramount Drive, and continues south past Highway 60. Due to its location adjacent to Armstrong Road and existing neighborhoods, PA 7 will connect to adjacent existing sewer facilities. Septic systems are provided to serve PAs 10 and 11.

Gravity Sewer

Gravity sewer alone services PAs 9, 12, 13, 14, 15, and 16 within Phase 3. A network of 8-inch diameter lines collects the sewer effluent from the residential neighborhoods and connect to the 12-inch gravity sewer line within the eastern portion of 20th Street, which in turn, connects and gravity flows east to the existing off-site 12-inch gravity sewer main within 20th Street. A 15-inch gravity sewer main servicing PAs 4, 5, 6, 8, 18, and 19 is located within 20th Street extends off-site southeasterly and connects to the existing 15-inch sewer trunk facility and future Rubidoux Community Services District CFD extension (approximately 2.0 miles south of SR-60).



Source(s): Nearmap Imagery (2023), RCTLMA (2020)

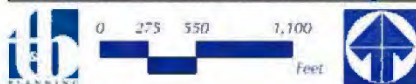


Figure II-7

Master Water Plan

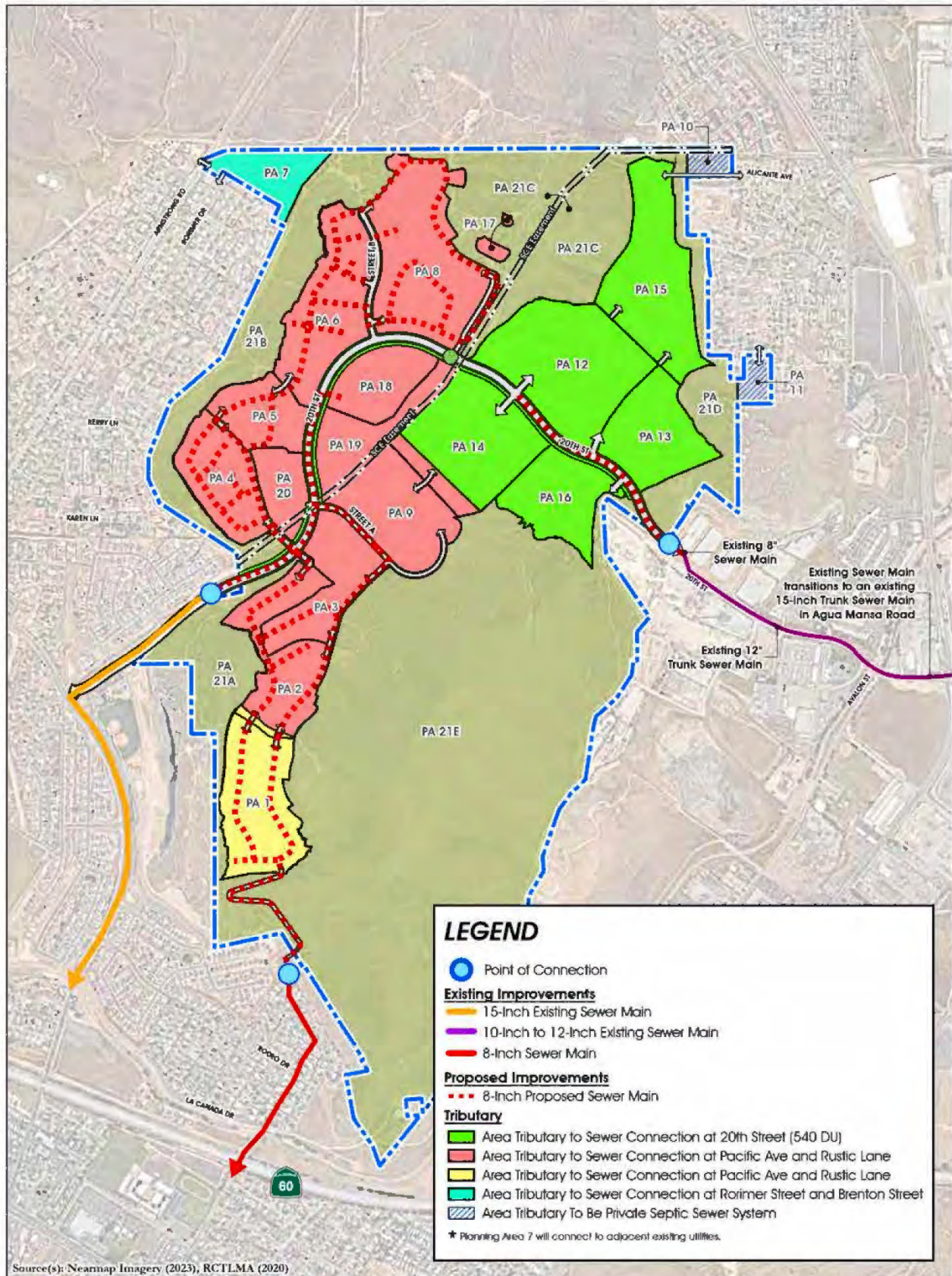


Figure II-8

F. PROJECT PHASING PLAN
1. PROJECT PHASING PLAN DESCRIPTION

Development of RIO VISTA consists of four phases timed to respond to market demands and according to a logical and orderly extension of roadways, public utilities, and infrastructure. PAs within a given phase may be developed out of the expected sequence, or in smaller increments, provided the required infrastructure and services are available at the time of development to provide adequate access to and from the RIO VISTA Specific Plan. The exact timing of implementation and phasing for any PA may vary based on a number of factors, including market and economic demands, as well as physical constraints or timing of infrastructure improvements. Figure II-9, *Conceptual Phasing Plan*, and Table II-2, *Project Phasing*, identify the phases of development for RIO VISTA.

Table II-2 Project Phasing

PLANNING AREA	LAND USE	ACRES
<i>Phase 1</i>		
4	High Density Residential (HDR)	18.2
5	High Density Residential (HDR)	13.3
6	High Density Residential (HDR)	27.1
17	Water Tanks (PF)	1.4
18	School (PF)	13.4
19	Community Park (OS-R)	14.3
20	Water Quality Basin (OS-W)	9.0
<i>Phase 1 Subtotals</i>		<i>96.7</i>
<i>Phase 2</i>		
1	Medium Density Residential (MDR)	24.9
2	Medium Density Residential (MDR)	22.7
3	Medium High Density Residential (MHDR)	19.4
<i>Phase 2 Subtotals</i>		<i>67.0</i>
<i>Phase 3</i>		
9	Highest Density Residential (HHDR)	21.7
12	Light Industrial (LI)	38.1
13	Light Industrial (LI)	20.2
14	Business Park (BP)	31.9

PLANNING AREA	LAND USE	ACRES
15	Business Park (BP)	32.1
16	Business Park (BP)	18.0
<i>Phase 3 Subtotals</i>		162.0
<i>Phase 4</i>		
8	Medium High Density Residential (MHDR)	39.6
10	Very Low Density Residential (VLDR)	2.6
11	Very Low Density Residential (VLDR)	3.8
<i>Phase 4 Subtotals</i>		46.0
PROJECT TOTALS		371.7

2. SEWER AND WATER PHASING

Phase 1 of the development shall include initial backbone improvements necessary for the water and sewer service on-site, including water mains, two 1.15 MG Zone 1360 reservoirs, one 0.33 MG Zone 1440 reservoir, along with gravity sewer lines, pump stations and force mains. These improvements shall connect the on-site systems with RCSD regional facilities. Phasing of the remaining sewer and water improvements shall be implemented in accordance with the discussions in Section II.E(1) and E(2) and Figure II-9, *Conceptual Phasing Plan*.

3. CIRCULATION PHASING

Phase 1 circulation improvements include construction of full-width improvements for the on-site portion of 20th Street, from the existing 20th Street (western edge of the site) to the eastern boundary of Phase 1 (fronting PAs 18 and 19). Additionally, as part of Phase 1, interim improvements for the portion of 20th Street between the roundabout and the eastern boundary, shall consist of curb-to-curb improvements, as approved by the Community Development Director or Public Works Director.

Phase 2 includes the completion of full width improvements for the portion of 20th Street abutting PAs 12, 13, 14, 16 and 19 to the existing off-site portions of 20th Street to the east, as approved by the Community Development Director or Public Works Director. Street A shall be constructed as part of Phase 2 to provide secondary automobile access for PA 9.

The Industrial Collector Road, Collector Roads, and Local Streets that connect PAs and neighborhoods to 20th Street shall be constructed in accordance with the Conceptual Phasing Plan or as needed for access purposes. Implementing residential tracts shall be responsible for construction of their respective internal local collector roads and local roads. Implementing projects within Light Industrial and Business Park PAs 12, 13, 14, 15, and 16 shall be responsible for construction of their respective private driveways and drive aisles.

PAs that are dependent on adjacent PAs for access shall be phased in a manner that demonstrates an ability to provide the necessary infrastructure and access prior to tentative map approval. Prior to the issuance of the 1st building permit, a Construction Management Plan shall be provided to ensure protection of the public health and safety of RIO VISTA residents and nearby residents. The Construction Management Plan may include the following criteria: light/glare; haul routes; location and condition of off-site and on-site staging area; waste area; circulation of construction vehicles; security of construction area; parking for construction worker/contractors; construction hours including set-up and break-down time; gathering areas for construction workers (ex. lunchbreaks or prior to construction time; and mitigation for construction-related impacts for new residents of the project and nearby residents (examples: vibration and noise, visual, access, circulation). The Construction Management Plan shall be approved by the Community Development Director and the City Engineer.

4. PARK PHASING

The 14.3-acre Community Park within PA 19 shall be developed as part of Phase 1 in order to provide recreational amenities to on- and off-site residents. The Community Park shall be accessible to the public prior to the completion of the 600th Dwelling Unit. On-site Neighborhood Parks will be developed in conjunction with Project build-out of each PA, as shown on Figure II-9, *Conceptual Phasing Plan*, and shall be substantially constructed prior to the completion of the 75th percentile home within the PA.

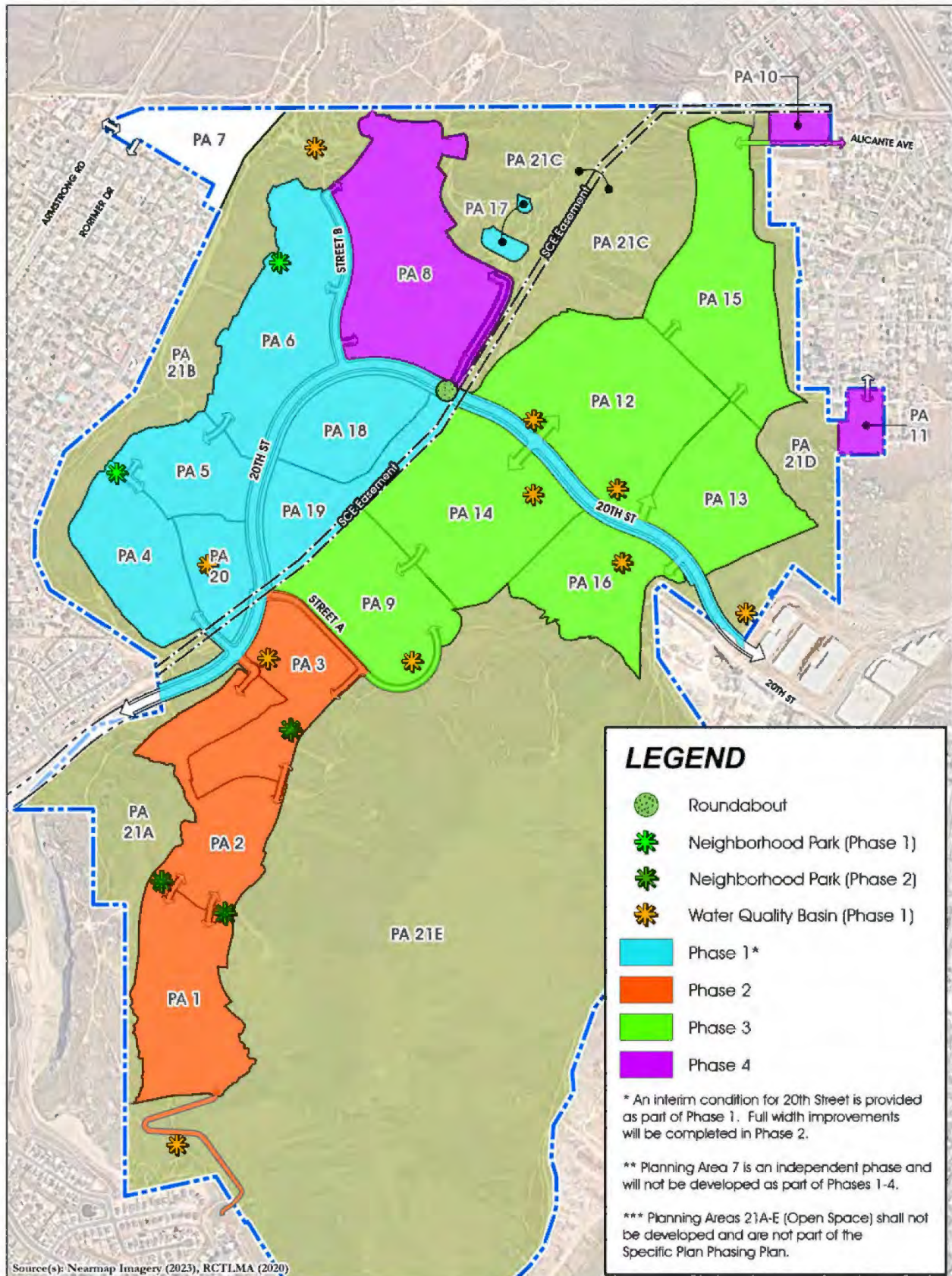


Figure II-9

Conceptual Phasing Plan

G. MAINTENANCE PLAN

A key component to assuring the preservation of RIO VISTA's standards of design and appearance is the effective operation of Homeowners associations, Property Owners Associations, and other maintenance organizations. The final determination of the ownership and maintenance entities responsible for each aspect of RIO VISTA will be determined in conjunction with approval of implementing projects. Provided below is a list of potential ownership and maintenance entities and a brief description of each service area and typical functions of these organizations. It is preferable that common project facilities are owned and maintained by the same entity or entities to ensure efficiency. The developer shall be responsible for the construction of public and private improvements within RIO VISTA, however the school site construction, if developed, shall be the responsibility of the Jurupa Valley Unified School District. Public and private improvements constructed within RIO VISTA shall be maintained through a combination of public and private entities as described in Table II-3, *Potential Ownership and Maintenance Matrix*. Indication of more than one party responsible for maintenance of any facility on Table II-3, infers that maintenance may be undertaken by one party or any combination of the listed parties, subject to a formal agreement. Figure II-10, *Maintenance Plan*, illustrates the potential ownership and maintenance entities within RIO VISTA.

- ❑ **Property Owner:** The property owner is responsible for maintaining private lots and local street parkways along residential local roads, and walls and fences.
- ❑ **Master Homeowners' Association (HOA):** Maintenance of parkway areas outside of the right-of-way, common areas, and slope areas shall be the Master Homeowner's Association's responsibility. Common areas identified within the tract map may be owned and maintained by a permanent public or private master maintenance organization. Areas of responsibility may include, but are not limited to, multi-family common areas, clustered single-family detached front yards, open space, project signage, private recreation facilities, walls and fences, community park, and landscape areas located along the community roadways.
- ❑ **Master Property Owner's Association (POA):** A Master Property Owners Association (POA) shall be established for the maintenance of common area landscape improvements and private driveways within the Light Industrial and Business Park PAs of RIO VISTA.
- ❑ **Rubidoux Community Services District (RCSD):** The RCSD is responsible for providing water and wastewater services and maintaining associated water and wastewater facilities, including water pipes, sewer pipes, and pressure release valves to RIO VISTA.
- ❑ **Jurupa Unified School District (JUSD):** The Jurupa Unified School District plans and manages the schools in the City of Jurupa Valley. The JUSD manages sixteen elementary schools, three middle schools, and five high schools and continuation schools. If the JUSD acquires PA 18 for a TK-6 or other school, the school will be designed and constructed to JUSD standards.
- ❑ **Jurupa Area Recreation and Park District (JARPD):** The Jurupa Area Recreation and Park District plans, constructs and maintains recreational facilities for the Jurupa area, with facilities including playgrounds, stadiums, sports fields, gymnasiums and pools. JARPD

may own and/or maintain portions of the RIO VISTA Specific Plan recreational open space, community park, and trail facilities.

- ❑ **City of Jurupa Valley:** The City of Jurupa Valley is responsible for the maintenance of public roads within RIO VISTA, including detention basins, water quality basins, debris basins, traffic signals and signs.
- ❑ **Riverside County Flood Control and Water Conservation District (RCFCD):** RCFCD regulates drainage resulting from development and development within or relating to floodplains. RCFCD also manages the construction and maintenance of flood control structures and facilities.
- ❑ **Western Riverside County Regional Conservation Authority (RCA):** Maintenance of the natural open space areas within PAs 21A through 21E may be the responsibility of RCA.

Table II-3 Potential Ownership and Maintenance Matrix

ITEM	PROPERTY OWNER OR OCCUPANT	HOMEOWNERS ASSOCIATION (HOA)	PROPERTY OWNERS ASSOCIATION (POA)	RUBIDOUX CSD	JURUPA UNIFIED SCHOOL DISTRICT	JARPD	CITY OF JURUPA VALLEY	RCA	RCFCD /WCD
Residential Lots	✓								
Neighborhood Parks		✓							
Community Park		✓				✓			
Landscape Lots		✓	✓						
Slopes not within Residential Lots		✓							
Natural Open Space/Open Space Lots		✓				✓		✓	
Residential Monuments and Signage		✓							
Detention Basins									✓
Water Quality Basins							✓		
Debris Basins							✓		
Storm Drains (36" or less)							✓		
Storm Drains (greater than 36")									✓
Water pipes, sewer pipes & pressure release valves outside right of ways				✓					

ITEM	PROPERTY OWNER OR OCCUPANT	HOMEOWNERS ASSOCIATION (HOA)	PROPERTY OWNERS ASSOCIATION (POA)	RUBIDOUX CSD	JURUPA UNIFIED SCHOOL DISTRICT	JARPD	CITY OF JURUPA VALLEY	RCA	RCFCD /WCD
Water Tanks				✓					
Pressure Release Valves				✓					
School Site*					✓				
Public Road Rights-of-Way						✓	✓		
Private Road Rights-of-Way and Alleys		✓							
Roundabout							✓		
Landscaped Parkways (Public or Private)		✓					✓		
Public Medians							✓		
20th Street Trail and/or public/existing Trails		✓				✓	✓		
Signals (If applicable)							✓		
Street Lighting (Public or Private)		✓					✓		
Walls and Fences within Residential PAs	✓	✓							
Common Area Landscaping (within PA 4, 5, 6, and 9)		✓							

ITEM	PROPERTY OWNER OR OCCUPANT	HOMEOWNERS ASSOCIATION (HOA)	PROPERTY OWNERS ASSOCIATION (POA)	RUBIDOUX CSD	JURUPA UNIFIED SCHOOL DISTRICT	JARPD	CITY OF JURUPA VALLEY	RCA	RCFCD /WCD
Private Driveways and Drive Aisles (within PA 12, 13, 14, 15, and 16)	✓		✓						
Gated Entrances (if constructed)		✓							
Parking Lots including landscaping (within PA 12, 13, 14, 15 and 16)	✓		✓						
Monuments and Signage (within PA 12, 13, 14, and 15)	✓		✓						
Walls and Fences (within PA 12, 13, 14, 15, and 16)	✓		✓						
Common Area Landscaping (within PA 12, 13, 14, 15, and 16)			✓						
Note: The developer shall be responsible for the construction of public and private improvements within RIO VISTA, however the school site construction, if developed, shall be the responsibility of the Jurupa Valley Unified School District.									

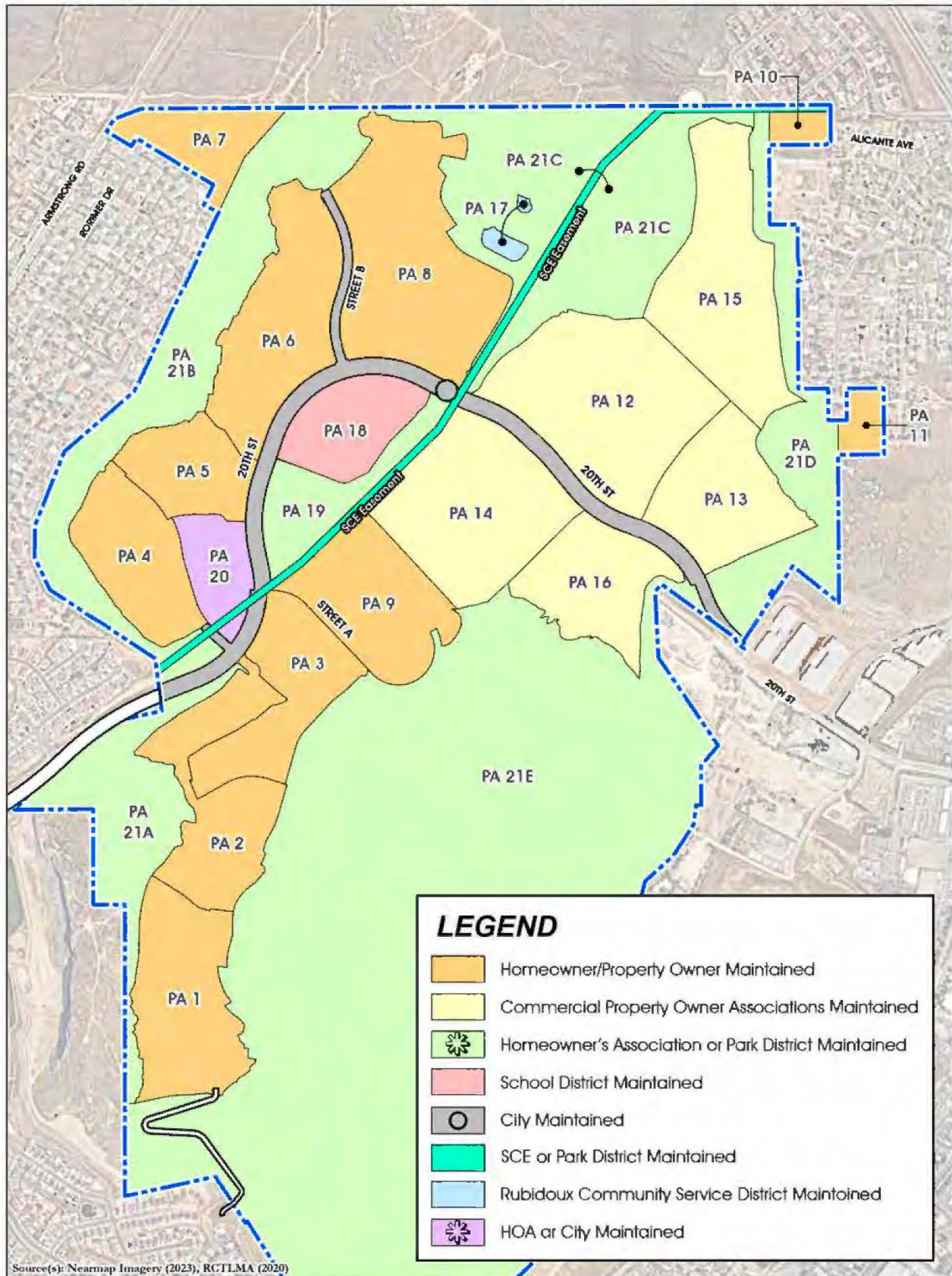


Figure II-10

Maintenance Plan

H. GRADING PLAN

The RIO VISTA Specific Plan consists of rolling hills which slope down to the surrounding onsite knolls. The existing highest elevation on the site is 1,440 feet above mean sea level (msl) at the north central portion of the Specific Plan, while the existing lowest elevation is 988 feet above msl in the eastern portion of the Specific Plan. Development in RIO VISTA will re-contour the pre-development terrain of the Specific Plan area to create pads and roads, sloping from the higher northerly elevations to lower southerly elevations. PAs 21a through 21e, designated as Open Space-Conservation, will be maintained as natural open space in order to preserve the hillside terrain.

As shown on Figure 2-11, *Conceptual Grading Plan*, the grading of the RIO VISTA development consists of standard residential grading for the single-family and multi-family residential lots and adjacent streets, along with a mass grading for the industrial and business park areas, and minimal localized grading for the development of the park. The grading generally follows the existing drainage patterns and the grading design boundaries for a nearly balanced rough graded condition with cut quantities of approximately 9 million cubic yards (cy), fill quantities of approximately 9.2 million cy, and 199,772 cy of import required. Quantity may vary as final grading plans are developed.

Site grading follows the recommendations of the geotechnical engineer and shall be conducted in accordance with the requirements of the City of Jurupa Valley. All grading plans and activities shall be conducted in accordance with the NPDES requirements and will conform to the City's grading ordinance and dust and erosion control requirements. Grading may occur in phases as development evolves and phase-specific grading plans will be required to undergo City review and approval.

I. PUBLIC SAFETY

CalFire and the Riverside County Fire Department provide fire service for the City of Jurupa Valley. Four fire stations serve the City of Jurupa Valley, the closest of which is Rubidoux Fire Station #38, located approximately 0.5 miles south of RIO VISTA. The second closest fire station is Riverside County Fire Station #18, which is located approximately 2.0 miles west of the RIO VISTA.

The County of Riverside Sheriff's Department provides police service for the City of Jurupa Valley. The Jurupa Valley Sheriff's Station is located approximately two miles west of RIO VISTA at 7477 Mission Boulevard, Jurupa Valley, CA 92509. The nearest police service station is located approximately 2.4 miles southeast of RIO VISTA at 377 Fairmount Boulevard, Riverside, CA 92501.

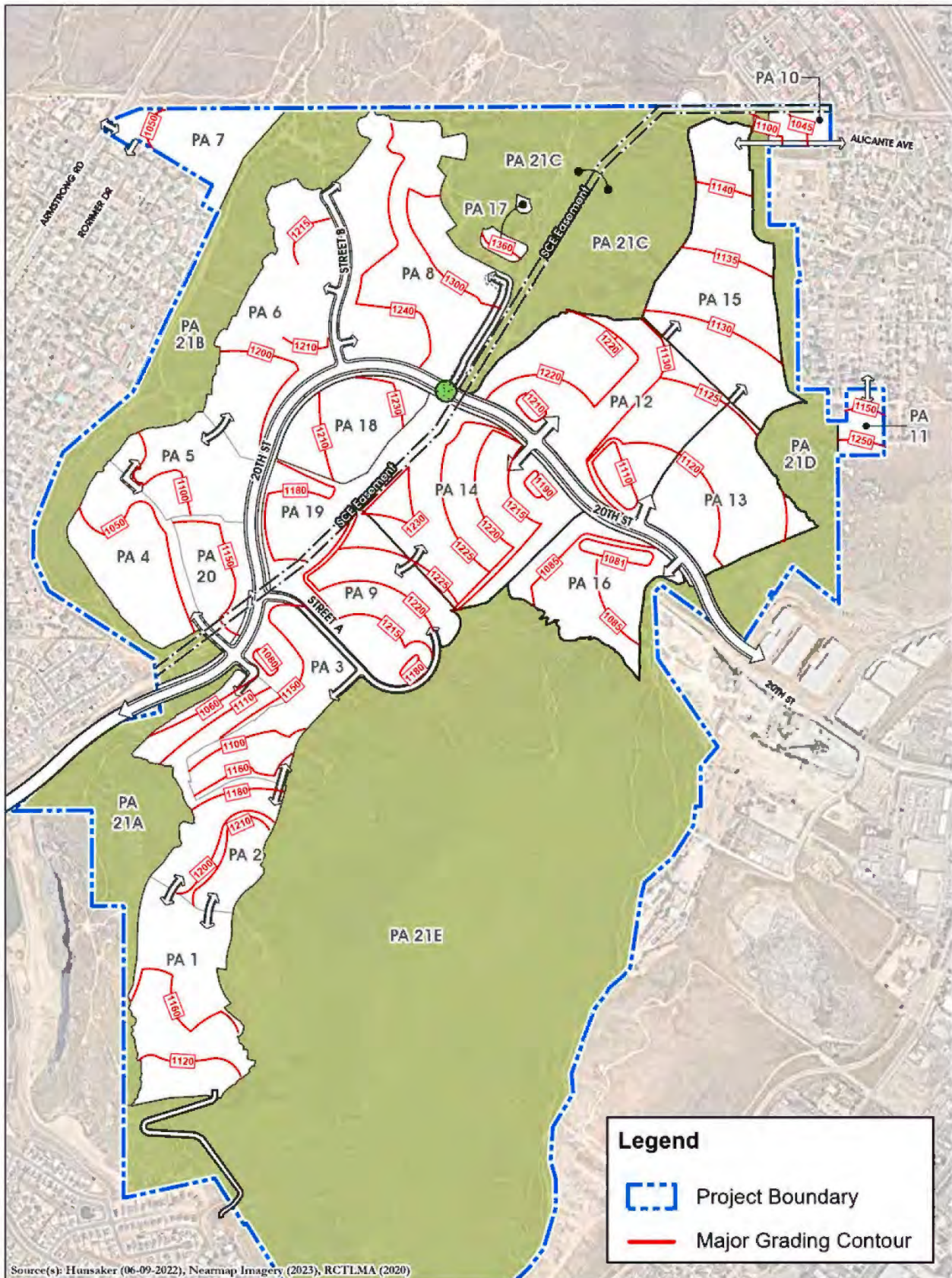


Figure II-11

Grading Plan

III. PERMITTED USES & DEVELOPMENT STANDARDS

RIO VISTA provides for five (5) residential land use designations and seven (7) non-residential land use designations, as well as all necessary infrastructure to support the community. Table II-1, *Detailed Land Use Summary*, provides a summary of the land uses and densities for each Planning Area (PA).

This section identifies the planning standards for each land use designation, including permitted/conditional/ancillary land uses, minimum lot sizes, building setbacks, building height, and other development standards. In addition, standards are provided for the community's infrastructure, open space, grading and maintenance.

The Permitted Uses and Development Standards found in this section shall constitute the zoning for RIO VISTA. In cases where no standard is provided, the City of Jurupa Valley's Zoning Ordinance will govern the Permitted Uses and Development Standards.

A. LAND USE

To ensure the orderly and effective development of RIO VISTA, the following community-wide development standards have been prepared:

1. The area designated as the RIO VISTA Specific Plan No. 16001 shall be developed with a target of 1,697 dwelling units on 917.3 acres at a project density of 1.8 du/ac, as illustrated on Figure II-1. General uses permitted shall include residential, light industrial, business park, public facilities, recreation, and open space as depicted on the Land Use Plan.
2. If PA 18 is not purchased by JUSD, the site may be developed with private or public school institutions and/or additional recreational areas. In response to market demands, non-residential uses (mixed use, office, commercial, religious) may be developed in PA 18 as an alternative use subject to a Conditional Use Permit. The permitted uses and development standards for non-residential uses that may develop in PA 18 will be governed by the City of Jurupa Valley's Zoning Ordinance. A detailed discussion of the PA 18 alternative use is provided in Section II.A.1.
3. Residential uses are subject to comply with the objective design standards identified in Section IV, *Objective Design Standards and Design Guidelines*, of this Specific Plan.
4. To ensure a cohesive and well-integrated development, building construction across PAs within the same Land Use designation is permitted within Light Industrial and Business Park uses. Construction across PAs 12 and 13 (Light Industrial), or PAs 14, 15, and 16 (Business Park) may occur, subject to all of the applicable standards and guidelines contained in Section III, *Permitted Uses and Development Standards* and Section IV.B.2C, *Light Industrial & Business Park Architectural Design Guidelines* of this Specific Plan. Buildings constructed across PA boundaries shall not, by themselves, trigger the requirement for a Specific Plan Amendment or Substantial Conformance.

5. Dwelling Unit count by PA is approximate and may vary from PA to PA and may increase or decrease by up to 10% provided that the overall Dwelling Units in RIO VISTA do not exceed the 1,697 Dwelling Units (DU). Within PA 7, the target DUs may increase up to 55 DUs provided that the overall DUs in RIO VISTA do not exceed 1,697 DUs. The target density of each PA may increase or decrease provided that the target density remains below the maximum density of the land use designation.
6. Implementing subdivisions, site development permits, conditional use permits, and/or other City discretionary permits, shall be consistent with the City of Jurupa Valley's requirements for applications and procedural review.
7. Preliminary plans for walls, fencing, landscaping, and landscape phasing shall be submitted with development applications, and shall be consistent with the Design Guidelines found in Section IV.
8. Signage, landscaping, mechanical equipment, and other related design elements shall conform to Section IV, *Design Guidelines*. Design elements not addressed or specifically excluded by Section IV shall be governed by the City of Jurupa Valley Zoning Ordinance.
9. Lighting within the boundaries of the Specific Plan shall conform with the Specific Plan and be in accordance with the City of Jurupa Valley's outdoor lighting requirements.
10. Common areas identified in the Specific Plan shall be designed and constructed in conformance with the Specific Plan, and be maintained in accordance with Section II.G, *Maintenance Plan*.
11. Lots within the Specific Plan created pursuant to tentative maps shall be in conformance with these Development Standards, unless a variance is granted per JVMC Section 9.240.270.
12. Homes shall be plotted in compliance with the objective design standards provided in Section IV.B.1., *Residential Objective Design Standards*.
13. Development applications shall be accompanied by design plans that specify the location and extent of landscaping, irrigation systems, structures, and circulation (vehicular, pedestrian, equestrian and/or bicycle) within the contiguous common areas.
14. Roadways, infrastructure, and open space may be coordinated by and paid for through an assessment or community facilities district/community service areas to facilitate construction, maintenance, and management.

B. RESIDENTIAL

Design of residential neighborhoods within RIO VISTA is an essential component of the Land Use Plan. Development criteria provided for each residential land use to address setback, lot coverage, and building placement. Exemptions and adjustments to residential development standards are described in Chapter 9.240.270, *Variances*, of the JVMC. Plan views of each residential land use, along with a corresponding table listing the development standards for that configuration are provided in Figure III-1, *Plotting Diagram with Development Standards for PAs 1, 2, and 7*; Figure III-2, *Plotting Diagram with Development Standards for PAs 3 and 4*; Figure III-3, *Plotting Diagram with Development Standards for PAs 5, 6, and 8*; Figure III-4, *Plotting Diagram with Development Standards for PA 9*; and Figure III-5, *Plotting Diagram with Development Standards for PAs 10 and 11*. Residential PAs 1, 2, 3, 4, 5, 6, 8, 9, 10, 11 and 18, if developed with residential uses, shall comply with the objective design standards and guidelines provided in Section IV.B.1., *Residential Objective Design Standards*, and IV.B.2A, *Residential Architectural Guidelines*.

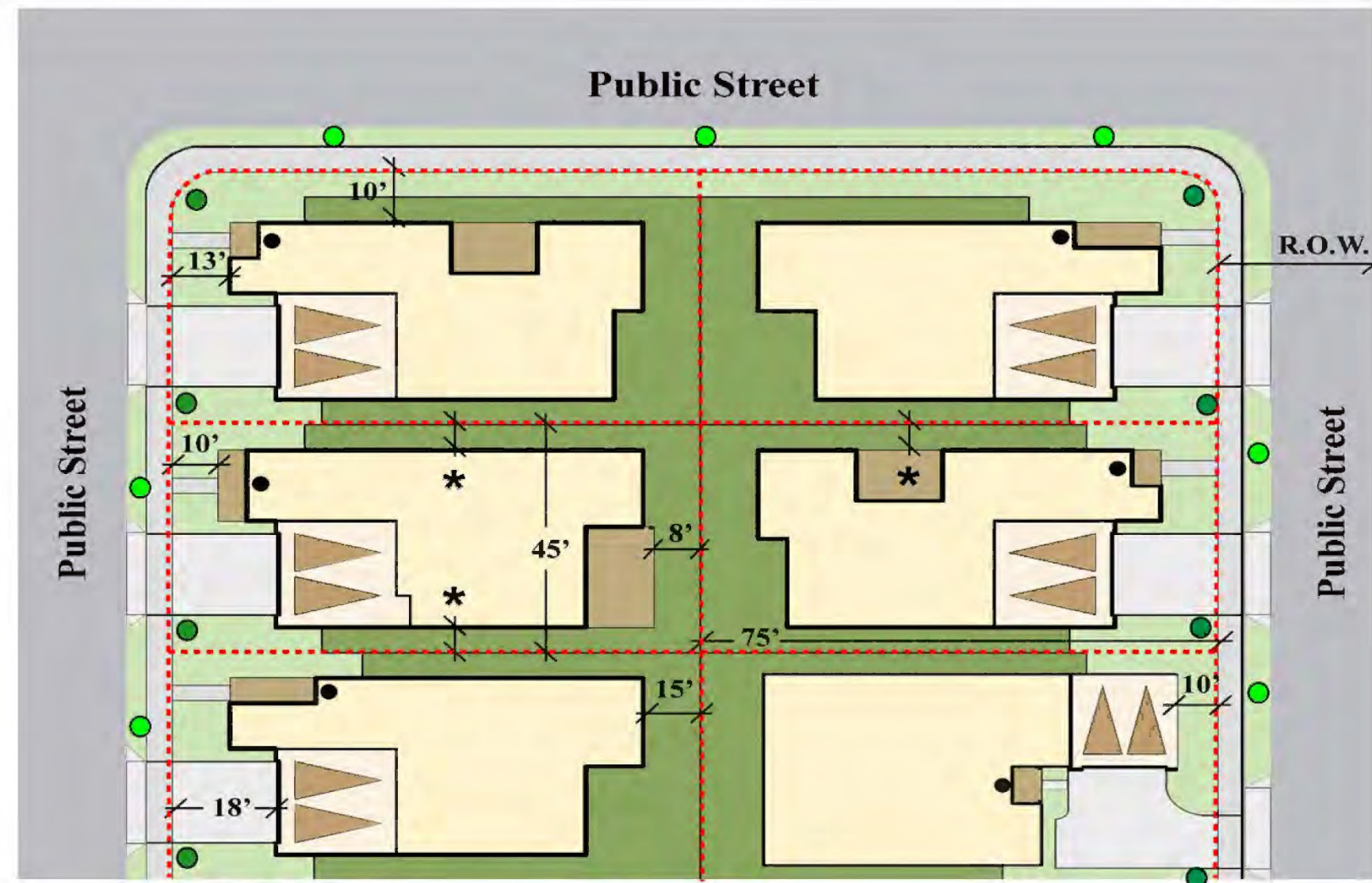
1. Medium Density Residential – Planning Areas 1, 2, and 7

Development criteria for Medium Density Residential (2-5 du/ac) land uses in PAs 1, 2, and 7, are provided on Figure III-1, *Plotting Diagram with Development Standards for Medium Density Residential (PAs 1, 2, and 7)*, and Table III-1, *Medium Density Residential (PAs 1, 2, and 7) - Development Standards*. Figure III-1 and Table III-1 provide development standards and conceptual plotting illustrations for detached single-family or multi-generational suites⁽⁶⁾ in PAs 1, 2, and 7. PA 18 would be subject to these development standards if developed with residential uses.

Table III-1 Medium Density Residential (PAs 1, 2 and 7) - Development Standards

Development Standards	Planning Areas 1, 2 and 7		
Description	Planning Area 1	Planning Area 2	Planning Area 7
	113 Target DUs	107 Target DUs	45 Target DUs
	24.9 acres	22.7 acres	11.1 acres
Typical Lot (Minimum)			
Lot Size ¹	3,375 SF ¹		
Lot Depth	75’		
Lot Width	45’		
Frontage on Knuckles or Cul-de-sacs	30’		
Flag Lots	Flag lots shall meet all lot requirements pursuant to Section 9.55.020 of the Jurupa Valley Municipal Code.		
Lot Coverage (Maximum)			
One-Story Home	65%		
Two-Story Home	65%		
Front Setbacks ² (Minimum)			
Habitable Space to Property Line	13’		
Front-Entry Garage	18’		
Side-Entry Garage ³	10’		
Front Porch	10’		
Side Setbacks ² (Minimum)			
Interior Side ⁴	8’ aggregate, minimum 3’ (zero-foot interior side yard setback is permitted on one side with minimum 8’ on the other side)		
Street Side	10’		
Rear Setbacks ² (Minimum)			
Habitable Space to Property Line	15’ typical, but no less than 10’ for a maximum of 50% of the home width		
Porch/Covered Patio/California Room	8’		
Building Height (Maximum)	30’		
Parking Requirement	2 Garage Spaces (9’ x 20’ each) Tandem parking is permitted and shall be limited to a maximum of two cars in depth.		
Guest Parking	1 Street Guest Parking Space per home.		
Air Conditioning Units	Air conditioning (AC) units may encroach into the side yard setback, but must provide a flat, 3’ clear area between the AC unit and the property line wall/fence. AC units are encouraged to be placed in the non-gated side yard when applicable.		
Yard Encroachments ⁵	2’ into the required side yard setback, but in no case shall it be closer than 3’ from property line maintained for Fire access.		

Development Standards	Planning Areas 1, 2 and 7
Street Tree Requirements	Street trees shall be a minimum size of 36-inch box, with a minimum of one tree per residential lot frontage.
<p>¹ Lot coverage is defined as the percentage of the lot area that may be covered by all buildings or roofed structures. This includes garages, accessory buildings, balconies, covered patios, decks, covered entryways, California rooms, and any similar structures that reduce the amount of area open to the sky.</p> <p>² A setback is the distance between the building line and the property line (or permanent access easement).</p> <p>³ Side-entry garages shall only be applicable on lots with a minimum width of 55 feet.</p> <p>⁴ Homes plotted on lots with 3' side yard shall provide alternative space within the garage for trash can storage.</p> <p>⁵ Yard encroachment are defined as uninhabitable architectural features that extend beyond the building face including eaves, chimneys, bay windows, stairways, and other architectural detailing that do not provide additional floor space.</p> <p>⁶ Multi-generational suites are defined as a separate living area within the primary home, and includes a connecting entrance and separate bathroom. Multi-generational suites may include a separate exterior entrance, kitchenette, and closet.</p>	



LEGEND

- | | | |
|--------------------|-------------------------|----------|
| ● Front Door | Living Space | Street |
| ● Residential Tree | Garage | Sidewalk |
| ● Street Tree | Encroachment Area | Driveway |
| --- Property Line | Private Open Space | |
| * See Side Setback | Common Area Landscaping | |



Key Map

Note: This exhibit is not intended to be to scale and is provided for illustrative purposes only.

2. Medium High Density Residential - Planning Areas 3 and 8

Development criteria for Medium High Density Residential (5-8 du/ac) land uses in PAs 3 and 8, are provided on Figure III-2, *Plotting Diagram with Development Standards for Medium High Density Residential (PAs 3 and 8)*, and Table III-2, *Medium High Density Residential (PAs 3 and 8) Development Standards*. Figure III-2 and Table III-2 provide development standards and conceptual plotting illustrations for 8-Pack product type homes in PAs 3 and 6-Pack product types, townhomes, and cluster condominiums homes in PA 8.

Table III-2 Medium-High Density Residential (PAs 3 and 8) – Development Standards

Development Standards	Planning Area 3	Planning Area 8
Description	149 Target DUs	259 Target DUs
	19.4 acres	39.6 acres
Typical Lot (Minimum)		
Lot Size	No minimum lot size	3,000 SF
Lot Depth	45'	60'
Lot Width	37'	50'
Frontage on Knuckles or Cul-de-sacs	30'	20'
Flag Lots	Flag lots shall meet all lot requirements pursuant to Section 9.55.020 of the Jurupa Valley Municipal Code.	Flag lots shall meet all lot requirements pursuant to Section 9.55.020 of the Jurupa Valley Municipal Code.
Lot Coverage ¹ (Maximum)		
One-Story Home	70%	75%
Two-Story Home	65%	70%
Front Setbacks (Minimum)		
Habitable Space to Property Line	5'	5'
Front-Entry Garage	1'-7' for short or 18' or greater	1'-7' for short or 18' or greater
Side-Entry Garage	1'-7' for short or 18' or greater	1'-7' for short or 18' or greater
Front Porch	1'	1'
Side Setbacks (Minimum)		
Interior Side ²	0'	0'
Street Side	5'	5'
Corner Side	5'	5'
Rear Setbacks (Minimum)		
Habitable Space	5'	5'
Porch/Covered Patio/California Room	5'	5'
Separation (Minimum)		
Garage to Garage Separation	26'	26'
Driveway Apron to Garage	1'-7' for short or 18' or greater	1'-7' for short or 18' or greater
Building Height (Maximum)		
	35'	35'
Parking Requirement		
	2 Garage Spaces (9' x 20' each). Tandem parking is permitted and shall be limited to a maximum of two cars in depth.	2 Garage Spaces (9' x 20' each). One tandem parking space is permitted per unit and shall be limited to a maximum of two cars in depth.
Guest Parking	1 Guest Parking Space for every five (5) DUs.	1 Guest Parking Space for every five (5) DUs.

Development Standards	Planning Area 3	Planning Area 8
Air Conditioning Units	Air conditioning (AC) units may encroach into the side yard setback, but must provide a flat, 3’ clear area between the AC unit and the property line wall/fence. AC units are encouraged to be placed in the non-gated side yard when applicable.	Air conditioning (AC) units may encroach into the side yard setback, but must provide a flat, 3’ clear area between the AC unit and the property line wall/fence. AC units are encouraged to be placed in the non-gated side yard when applicable.
Yard Encroachments ³	2’ into the required side yard setback, but in no case shall it be closer than 3’ from property line maintained for Fire access.	2’ into the required side yard setback, but in no case shall it be closer than 3’ from property line maintained for Fire access.
Accessory Dwelling Unit Standards	Refer to Section 9.240.290 of the City of Jurupa Valley’s Municipal Code for the application and standards of Accessory Dwelling Units.	

¹ Lot coverage is defined as the percentage of the lot area that may be covered by all buildings or roofed structures. This includes garages, accessory buildings, balconies, covered patios, decks, covered entryways, California rooms, and any similar structures that reduce the amount of area open to the sky.

² A setback is the distance between the building line and the property line (or permanent access easement).

³ Homes plotted on lots with 3’ side yard shall provide alternative space within the garage for trash can storage.

⁴ Yard encroachment are defined as uninhabitable architectural features that extend beyond the building face including eaves, chimneys, bay windows, stairways, and other architectural detailing that do not provide additional floor space.

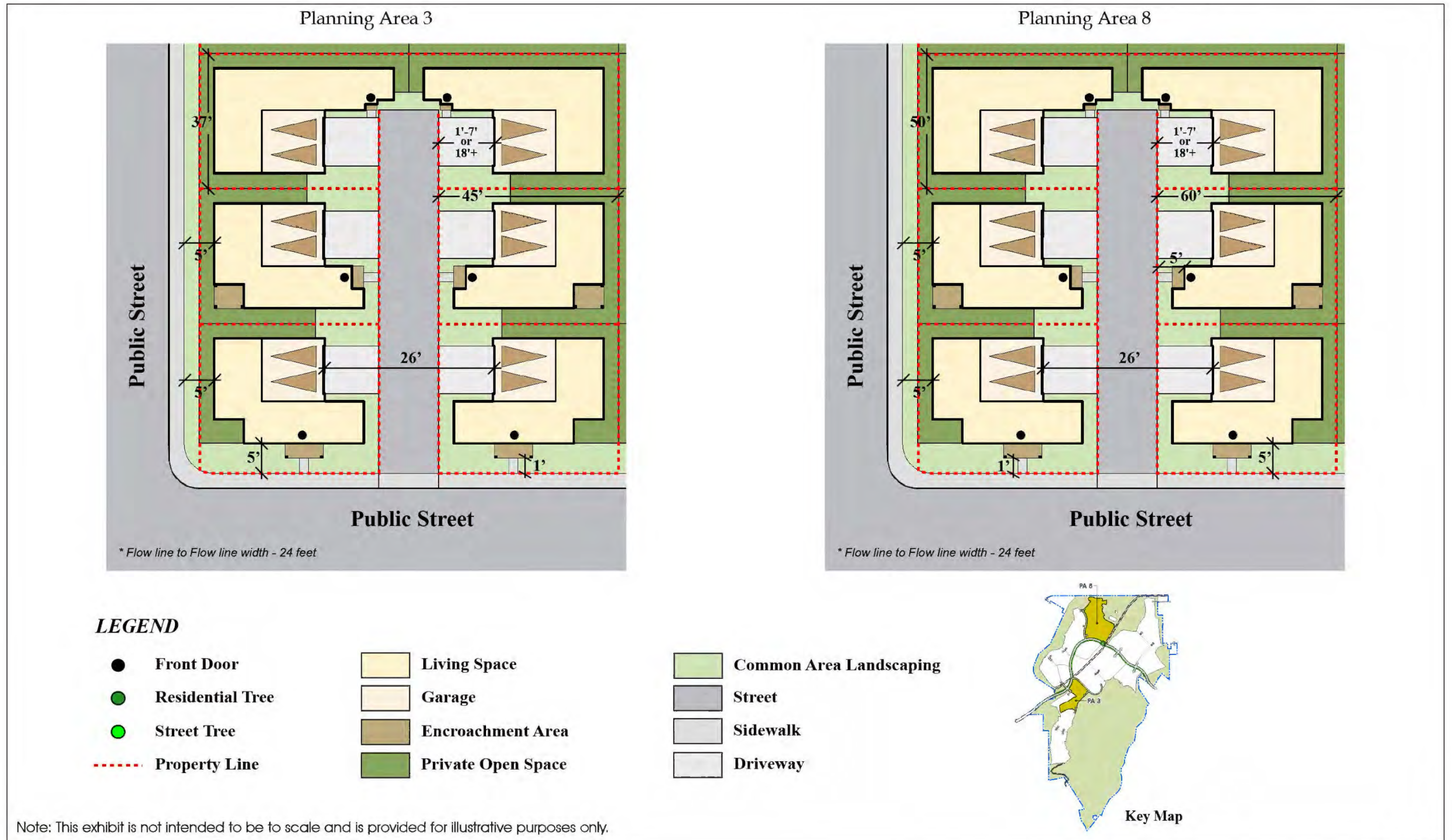


Figure III-2

Plotting Diagram for Medium High Density Residential (PAs 3 & 8)

3. High Density Residential – Planning Areas 4, 5, and 6

Development criteria for High Density Residential (8-14 du/ac) land uses in PAs 4, 5, and 6, are provided on Figure III-3, *Plotting Diagram with Development Standards for High Density Residential (PAs 4, 5, and 6)*, and Table III-3, *High Density Residential (PAs 4, 5, and 6) Development Standards*. Figure III-3 and Table III-3 provide development standards and conceptual plotting illustrations for 8-pack and motor court product types in PA 4, and motor court and 6-Pack product types, townhomes, and cluster condominiums homes in PAs 5 and 6.

Table III-3 High Density Residential (PAs 4, 5, and 6) – Development Standards

Development Standards	Planning Area 4	Planning Areas 5 and 6	
Description		Planning Area 5	Planning Area 6
	225 Target DUs	116 Target DUs	258 Target DUs
	18.2 acres	13.3 acres	27.1 acres
Typical Lot (Minimum)			
Lot Size	1,665 SF	1,665 SF	
Lot Depth	45'	45'	
Lot Width	37'	37'	
Frontage on Knuckles or Cul-de-sacs	30'	20'	
Flag Lots	Flag lots shall meet all lot requirements pursuant to Section 9.55.020 of the Jurupa Valley Municipal Code.	Flag lots shall meet all lot requirements pursuant to Section 9.55.020 of the Jurupa Valley Municipal Code.	
Lot Coverage ¹ (Maximum)			
One-Story Home	70%	75%	
Two-Story Home	65%	70%	
Setbacks ² (Minimum)			
Habitable Space to Property Line	5'	5'	
Front-Entry Garage	1'-7' for short or 18' or greater	1'-7' for short or 18' or greater	
Side-Entry Garage	1'-7' for short or 18' or greater	1'-7' for short or 18' or greater	
Front Porch	3'	3'	
Side Setbacks (Minimum)			
Interior Side ³	0'	0'	
Street Side	5'	5'	
Corner Side	5'	0'	
Rear Setbacks (Minimum)			
Habitable Space	5'	0'	
Porch/Covered Patio/California Room	5'	0'	
Separation			
Driveway Apron to Garage	1'-7' for short or 18' or greater	1'-7' for short or 18' or greater	
Garage to Garage Separation (Minimum)	26'	26'	
Building Height (Maximum)	35'	45'	
Parking Requirement	2 Garage Spaces (9' x 20' each). Tandem parking is permitted and shall be limited to a maximum of two cars in depth.	2 Garage Spaces (9' x 20' each). One tandem parking space is permitted per unit and shall be limited to a maximum of two cars in depth.	

Development Standards	Planning Area 4	Planning Areas 5 and 6
Guest Parking	1 Guest Parking Space for every five (5) DUs.	1 Guest Parking Space for every five (5) Dus.
Air Conditioning Units	Air conditioning (AC) units may encroach into the side yard setback, but must provide a flat, 3' clear area between the AC unit and the property line wall/fence. AC units are encouraged to be placed in the non-gated side yard when applicable.	Air conditioning (AC) units may encroach into the side yard setback, but must provide a flat, 3' clear area between the AC unit and the property line wall/fence. AC units are encouraged to be placed in the non-gated side yard when applicable.
Yard Encroachments ⁴	2' into the required side yard setback, but in no case shall it be closer than 3' from property line maintained for fire access.	2' into the required side yard setback, but in no case shall it be closer than 3' from property line maintained for fire access.
Accessory Dwelling Unit Standards	Refer to Section 9.240.290 of the City of Jurupa Valley's Municipal Code for the application and standards of Accessory Dwelling Units.	

¹ Lot coverage is defined as the percentage of the lot area that may be covered by all buildings or roofed structures. This includes garages, accessory buildings, balconies, covered patios, decks, covered entryways, California rooms, and any similar structures that reduce the amount of area open to the sky.

² A setback is the distance between the building line and the property line (or permanent access easement).

³ Homes plotted on lots with 3' side yard shall provide alternative space within the garage for trash can storage.

⁴ Yard encroachment are defined as uninhabitable architectural features that extend beyond the building face including eaves, chimneys, bay windows, stairways, and other architectural detailing that do not provide additional floor space.

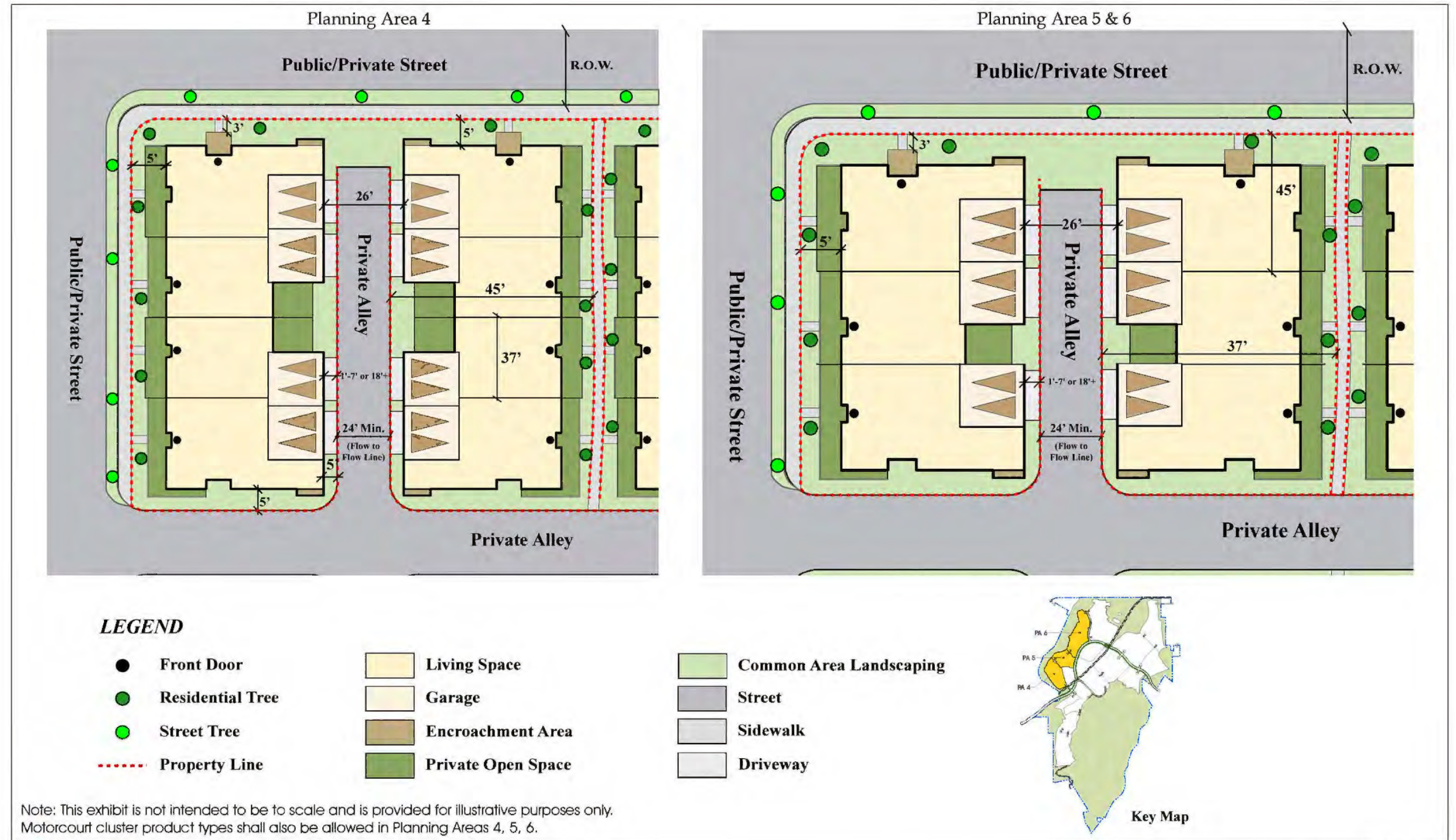


Figure III-3

Plotting Diagram for High Density Residential (PAs 4, 5, & 6)

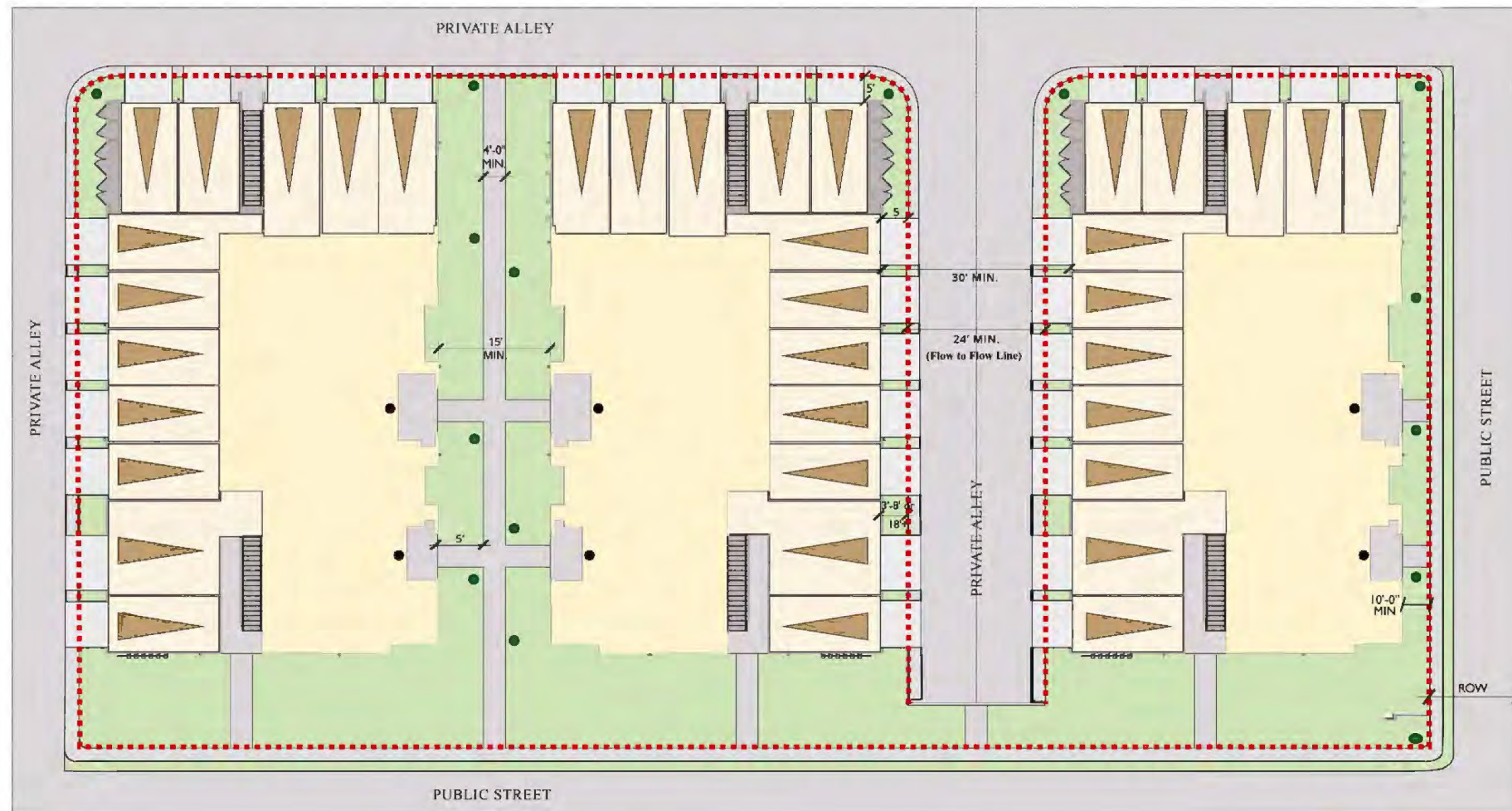
4. Planning Area 9

Development criteria for Highest Density Residential (25 du/ac minimum) (PA 9) are provided on Figure III-4, *Plotting Diagram with Development Standards for Highest Density Residential (PA 9)*, and Table III-4, *Highest Density Residential (PA 9) Development Standards*. Figure III-4 and Table III-4 provide development standards and conceptual plotting illustrations for multi-family product types in PA 9.

Table III-4 Highest Density Residential (Planning Area 9) - Development Standards

Development Standards	Planning Area 9
Description	420 Target DUs
	21.7 acres
Setbacks¹ (Minimum)	
Habitable Space to Property Line	10'
Porch/Covered Patio/California Room	5'
Interior Side	0'
Street Side to Public/Private Street	10'
Corner Side to Private Alley	5'
Separation (Minimum)	
Habitable Space to Habitable Space	15'
Driveway Apron to Garage	3'-8' for short or 18' or greater
Garage to Garage Separation	30'
Building Height (Maximum)	45'
Private Alley Width	24'
Interior Walkway Width	4'
Parking Requirement	1 Bedroom – 1 covered space + 0.5 uncovered space 2+ Bedrooms – 2 covered spaces
Guest Parking	Guest Parking – 0.20 per DU
Alternative Land Use Standard (Affordable and/or Student Housing)	20' setback required when abutting Business Park uses. Setback shall only apply to the living areas within the buildings and not any detached accessory structures, recreation buildings, parking lots, or any portion of the residential structure not used for living and habitation.

¹ A setback is the distance between the building line and the property line (or permanent access easement).



LEGEND

- | | | |
|--------------------|-------------------|-------------------------|
| ● Front Door | Living Space | Common Area Landscaping |
| ● Residential Tree | Garage | Street/Sidewalk |
| ● Street Tree | Encroachment Area | Driveway |
| --- Property Line | | |



Note: This exhibit is not intended to be to scale and is provided for illustrative purposes only.

5. Planning Areas 10 and 11

Development criteria for PAs 10 and 11 (1-acre minimum) are provided Figure III-5, *Plotting Diagram with Development Standards for Very Low Density Residential (Planning Areas 10 and 11)*, and Table III-5, *PAs 10 and 11 – Development Standards*. Figure III-5 and Table III-5 provide development standards and conceptual plotting illustrations for homes on minimum 1.0-acre lots in PAs 10 and 11.

Table III-5 Very Low Density Residential (Planning Areas 10 and 11) – Development Standards

Development Standards	Planning Areas 10 and 11	
Description	Planning Area 10	Planning Area 11
	2 Target DUs	3 Target DUs
	2.6 acres	3.8 acres
Typical Lot (Minimum)		
Lot Size	1.0 AC	
Lot Depth	80'	
Lot Width	80'	
Frontage on Knuckles or Cul-de-sacs	50'	
Flag Lots	Flag lots shall meet all lot requirements pursuant to Section 9.55.020 of the Jurupa Valley Municipal Code.	
Lot Coverage ¹ (Maximum)		
One-Story Home	30%	
Two-Story Home	25%	
Front Setbacks ² (Minimum)		
Habitable Space	25'	
Front-Entry Garage	30'	
Side-Entry Garage	20'	
Useable front porch	15'	
Side Setbacks (Minimum)		
Interior Side	10'	
Corner Side/Street Side	15'	
Rear Setbacks (Minimum)		
Habitable Space	20'	
Porch/Covered Patio/California Room	10'	
Building Height (Maximum)	35'	
Parking Requirement	2 Garage Spaces (9' x 20' each)	
Air Conditioning Units	<u>Air conditioning (AC) units may encroach into the side yard setback, but must provide a flat, 3' clear area between the AC unit and the property line wall/fence. AC units are encouraged to be placed in the non-gated side yard when applicable.</u>	
Yard Encroachments ³	2' into the required side yard setback, but in no case shall it be closer than 3 feet from the property line.	
Accessory Dwelling Unit Standards	Refer to Section 9.240.290 of the City of Jurupa Valley's Municipal Code for the application and standards of Accessory Dwelling Units.	

¹ Lot coverage is defined as the percentage of the lot area that may be covered by all buildings or roofed structures. This includes garages, accessory buildings, balconies, covered patios, decks, covered entryways, California rooms, and any similar structures that reduce the amount of area open to the sky.

² A setback is the distance between the building line and the property line (or permanent access easement).

³ Yard encroachment is defined as uninhabitable architectural features that extend beyond the building face including eaves, chimneys, bay windows, stairways, and other architectural detailing that do not provide additional floor space.



C. LIGHT INDUSTRIAL

The standards identified below establish the development criteria that shall apply to the PAs designated Light Industrial within the RIO VISTA Specific Plan (PAs 12 and 13). Additional development standards and design criteria for these PAs can be found in Table III-6, *Development Standards for Light Industrial*, and Section IV, *Design Guidelines*.

Table III-6 Development Standards for Light Industrial	
Site Requirements	
Minimum Lot Area	20,000 S.F.
Minimum Average Lot Width	100 Feet
Maximum Floor Area Ratio (FAR) ¹	0.5 FAR
Minimum Landscape Coverage ² (Landscaping shall include slope banks, parking islands, landscaped portions of basins, and plantings (trees, shrubs, groundcovers, vines).	15% ² of the site area.
Notes:	
1. The overall maximum building square footage for Light Industrial uses within the RIO VISTA Specific Plan (1,269,774 square feet) shall not be exceeded regardless of the F.A.R. achieved throughout the entire Specific Plan.	
2. Landscaping shall include slope banks, open space, parking islands, enriched paving, landscaped portions of basins, and plantings (trees, shrubs, groundcovers, vines) and may include walkways, benches, trellises, thematic fencing, walls, and related amenities.	
Minimum Setback Requirements (As measured between the building line to the property line or permanent access easement.)	
Front	If adjacent to 20 th Street – 50 feet (of which a minimum of 25 feet adjacent to right-of-way shall be landscaped) If adjacent to any other public street – 25 feet (of which a minimum of 10 feet adjacent to right-of-way shall be landscaped)
Rear	15 feet
Side	If adjacent to 20 th Street – 50 feet (of which a minimum of 25 feet adjacent to right-of-way shall be landscaped) If adjacent to any other public street - 25 feet (of which a minimum of 10 feet adjacent to right-of-way shall be landscaped) All other instances - Not less than 5 feet
Architectural features such as cornices, eaves, canopies, decorative wall elements	May encroach up to 4 feet into the setback, provided that adequate emergency access can be maintained, subject to approval by the City of Jurupa Valley and/or Riverside County Fire Department.
Minimum Setback Requirements at Interior Side Yards (As measured between the building line to the property line or permanent access easement.)	
Building	5 feet
Drive Aisle and Passenger Car and Truck Parking	5 feet
Screened Loading and Storage Yards	0 feet; or, as determined by the SDP process
Minimum Drive Aisle and Parking Space Separation Requirements	

Table III-6 Development Standards for Light Industrial	
Adjacent to building office element	10 feet
Adjacent to solid building wall or screen wall/fence, and not within a screened/enclosed yard.	5 feet
Adjacent to solid building wall or screen wall/fence, and within a screened/enclosed yard.	0 feet
Maximum Building Height (measured from the building's finished floor elevation to the highest point of the building's roof, parapet, or other architectural projection.)	50 feet, unless a height up to seventy-five (75) feet is approved pursuant to Section 9.240.370.
Other Development Standards	
Ground and Roof-Mounted Equipment	All ground and roof mounted mechanical equipment shall be screened and shall be treated with a neutral color or obscured by landscaping when visible from adjacent public roadways or residential areas.
Outside Storage	If a non-screened outdoor general retail exhibit area is proposed, the exhibit area shall be identified on the implementing Site Development Permit or Conditional Use Permit and shall meet the required setback (A greater or lesser setback may be required as part of the SDP approval process). Within outdoor storage areas, materials or equipment shall be stored to a height no greater than fourteen feet (14') and screened from view of public streets and residential areas via walls, fencing, berms and/or landscaping (or combination).

1. Other Light Industrial Development Standards

- a. The maximum F.A.R. for Light Industrial PAs is 0.50 F.A.R. The overall maximum building square footage for Light Industrial uses within the RIO VISTA Specific Plan (1,269,774 square feet) shall not be exceeded regardless of the F.A.R. achieved throughout the entire Specific Plan.
- b. To ensure a cohesive and well-integrated development, buildings constructed within PAs 12 and 13 may be constructed across PA boundaries of the Light Industrial PAs, subject to all of the applicable standards and guidelines contained in Section III, *Permitted Uses & Development Standards*, and Section IV, *Design Guidelines*, of this Specific Plan. Building constructed across PA boundaries shall not, by themselves, trigger the requirement for a Specific Plan Amendment.
- c. Loading docks and truck parking areas shall be visually screened from public streets and off-site land uses through utilization of walls, landscaping, and/or other screening features or barriers (such as berms) or an effective combination of these features. Please refer to Section IV.F.5. in this Specific Plan for additional truck court and loading dock standards. Outdoor loading and storage areas and loading doors shall be screened from view from residential areas and public streets by concrete or masonry walls, tubular steel fencing, and/or landscaping. Any gates shall be lockable.
- d. Walls, fencing, and/or landscaping (or combination) used as screening shall be a minimum eight feet (8') in height as measured from the interior side of the wall, and shall be of sufficient

height and density to screen all outdoor materials and equipment, tractors and trailers, and loading doors from view of public streets.

- e. Ground- and roof-mounted exterior mechanical equipment, heating and ventilating, air conditioning, tanks, and other mechanical devices shall be screened from public streets and residential development areas and shall be treated with a neutral color or obscured by landscaping when visible from public streets.
- f. Exterior lighting fixtures shall be downward directed. Pole-mounted lights shall be shielded with the light source oriented away from public streets and/or adjacent properties. All exterior lighting shall comply with the applicable City of Jurupa Valley's outdoor lighting requirements.
- g. All manufacturing and processing activities shall be conducted within a wholly-enclosed building.
- h. Products for sale on the premises may be displayed outdoors and unscreened, subject to approval of a Conditional Use Permit. Display areas over 200 square feet are subject to approval of a Conditional Use Permit. This is most appropriate for retail businesses such as manufacturing/assembly businesses that produce large products such as boats, RVs, or other similar goods.
- i. If a non-screened outdoor general retail exhibit area is proposed, the exhibit area shall be identified on the implementing site plan and/or plot plan and shall be located outside the required setback distance, unless a lesser setback is approved as part of the Site Development Permit (SDP). Display areas over 200 square feet are subject to approval of a Conditional Use Permit.
- j. Development shall be consistent with the Light Industrial land use design guidelines within Section IV.B.2C, *Light Industrial & Business Park Architectural Design Guidelines* of this Specific Plan.

D. BUSINESS PARK

The standards identified below establish the development criteria that shall apply to the PAs designated Business Park within the RIO VISTA Specific Plan (PAs 14, 15, and 16). Additional development standards and design criteria for these PAs can be found in Table III-7, *Development Standards for Business Park*, and Section IV, *Design Guidelines*.

Table III-7 Development Standards for Business Park	
Site Requirements	
Minimum Lot Area	20,000 S.F.
Minimum Average Lot Width	100 Feet
Maximum Floor Area Ratio (F.A.R.) ¹	0.40 F.A.R.
Minimum Landscape Coverage ²	15% of the site area; an aggregate landscape coverage of 18% required for total Business Park land use area.
Notes: 1. The overall maximum building square footage for Business Park uses within the RIO VISTA Specific Plan (1,428,768 square feet) shall not be exceeded regardless of the F.A.R. achieved throughout the entire Specific Plan. 2. Landscaping shall include slope banks, open space, parking islands, enriched paving, landscaped portions of basins, and plantings (trees, shrubs, groundcovers, vines) and may include walkways, benches, trellises, thematic fencing, decorative walls, and related amenities.	
Minimum Setback Requirements	
(As measured between the building line to the property line or permanent access easement.)	
Front	<p>If adjacent to 20th Street – 50 feet (of which 25 feet adjacent to right-of-way shall be landscaped)</p> <p>If adjacent to any other public street – 25 feet (of which 10 feet adjacent to right-of-way shall be landscaped)</p> <p>All other instances</p> <p>a. Where the front yard adjoins a lot zoned residential, the minimum setback shall be 20' to the property line, which shall not apply to any detached accessory structures, recreation buildings or parking lots. A minimum 10' strip of the setback shall be landscaped and maintained.</p> <p>b. Where the front yard adjoins a lot with land use designation other than residential, there is no minimum setback.</p> <p>c. Where the front yard adjoins a public or private street, the minimum setback shall be 25' feet from the property line or from the edge of a <u>minimum 25'-wide landscaped zone</u>. The setback area may be used for driveways, vehicle parking, loading docks, or landscaping.</p>

Table III-7 Development Standards for Business Park

Rear	<p>15 feet</p> <p>If a building is less than 75,000 square feet in building space:</p> <p>a. Where the rear yard adjoins a lot zoned residential, the minimum setback shall be 20' to the property line, which shall not apply to any detached accessory structures, recreation buildings or parking lots. A minimum 10' strip of the setback shall be landscaped and maintained.</p> <p>b. Where the rear yard adjoins a lot with land use designation other than residential, there is no minimum setback.</p> <p>c. Where the rear yard adjoins a public or private street, the minimum setback shall be 25' feet from the property line or from a minimum 25'-wide landscaped zone. The setback area may be used for driveways, vehicle parking, loading areas, or landscaping.</p>
Side	<p>a. Where the interior side yard adjoins a lot zoned residential, the minimum setback shall be 20' to the property line, which shall not apply to any detached accessory structures, recreation buildings or parking lots. A minimum 10' strip of the setback shall be landscaped and maintained.</p> <p>b. Where the interior side yard adjoins a lot with land use designation other than residential, there is no minimum setback.</p> <p>c. Where the side yard adjoins a public or private street, the minimum setback shall be 25' feet from the property line or from a minimum 25'-wide landscaped zone..</p> <p>The setback area may be used for driveways, vehicle parking, loading areas, or landscaping.</p>
Street Side	<p>If adjacent to 20th Street – 50 feet (of which 25 feet adjacent to right-of-way shall be landscaped)</p> <p>Where the street side yard adjoins a public or private street, the minimum setback shall be 25' feet from the property line or from a minimum 25'-wide landscaped zone .</p> <p>The setback area may be used for driveways, vehicle parking, loading areas, or landscaping.</p>

Table III-7 Development Standards for Business Park

Architectural features such as cornices, eaves, canopies, decorative wall elements	May encroach up to 4 feet into the setback, provided that adequate emergency access can be maintained, subject to approval by the City of Jurupa Valley and/or Riverside County Fire Department.
Minimum Setback Requirements at Interior Side Yards (As measured between the building line to the property line or permanent access easement.)	
Building	5 feet
Drive Aisle and Passenger Car and Truck Parking	5 feet
Screened Loading and Storage Yards	5 feet, when visible from public right-of-way. Outdoor Storage standards in Table III-7 apply. When not visible from public right-of-way, there is no minimum setback. Outdoor Storage standards in Table III-7 apply.
Minimum Drive Aisle and Parking Space Separation Requirements	
Adjacent to building office element	10 feet
Adjacent to solid building wall or screen wall/fence, and not within a screened/enclosed yard.	5 feet
Adjacent to solid building wall or screen wall/fence, and within a screened/enclosed yard.	0 feet
Building Height (measured from the building's finished grade to the highest point of the building's roof, parapet, or other architectural projection.)	50 feet, unless a height up to sixty (60) feet is approved pursuant to Section 9.240.370.
Other Development Standards	
Ground and Roof-Mounted Equipment	All ground and roof mounted mechanical equipment shall be screened and shall be treated with neutral color or obscured by landscaping when visible from adjacent public roadways or residential areas.
Outside Storage	If a non-screened outdoor general retail exhibit area is proposed, the exhibit area shall be identified on the implementing Site Development Permit and/or Conditional Use Permit and shall meet the required setbacks. Within outdoor storage areas, materials or equipment shall be stored to a height no greater than fourteen feet (14') and screened from view of public streets and residential areas via walls, fencing, berms and/or landscaping (or combination).

1. Other Business Park Development Standards

- a. The maximum F.A.R. for Business Park PAs is 0.40 F.A.R. The overall maximum building square footage for Business Park uses within the RIO VISTA Specific Plan (1,428,768 square feet) shall not be exceeded regardless of the F.A.R. achieved throughout the entire Specific Plan.
- b. Loading docks and truck parking areas shall be visually screened from public streets and off-site land uses through utilization of walls, landscaping, and/or other screening features or barriers (such as berms) or an effective combination of these features.

- c. The outdoor storage of materials and equipment may be permitted as outlined in Section III.F, *Permitted, Conditional, and Ancillary Uses*, and pursuant to an approved Site Development Permit, Conditional Use Permit or other site approval. Within outdoor storage areas, materials or equipment shall be stored to a height no greater than fourteen feet (14') and not to exceed twenty percent (20%) of the total site area.
- d. Outdoor loading and storage areas and loading doors shall be screened from view from residential areas and public streets by concrete or masonry walls, tubular steel fencing, and/or landscaping. Any gates shall be lockable.
- e. Walls, fencing, and/or landscaping (or combination) used as screening shall be a minimum eight feet (8') in height as measured from the interior side of the wall, and shall be of sufficient height and density to screen all outdoor materials and equipment, tractors and trailers, and loading doors from view of public streets. Walls or fences are not allowed in the required front yard setback area. Ground- and roof-mounted exterior mechanical equipment, heating and ventilating, air conditioning, tanks, and other mechanical devices shall be screened and shall be treated with neutral color or obscured by landscaping when visible from residential areas and public streets.
- f. Exterior lighting fixtures shall be downward directed. Pole-mounted lights shall be shielded with the light source oriented away from public streets and/or adjacent properties. All exterior lighting shall comply with the applicable City of Jurupa Valley's outdoor lighting requirements.
- g. All manufacturing and processing activities shall be conducted within a wholly-enclosed building.
- h. Products for sale on the premises may be displayed outdoors and unscreened, subject to the approval of a Conditional Use Permit. This is most appropriate for retail businesses such as manufacturing/assembly businesses that produce large items such as boats, RVs, or other similar goods.
- i. Development shall be consistent with the Business Park land use design guidelines within Section IV.B.2C, *Light Industrial & Business Park Architectural Design Guidelines* of this Specific Plan.

E. PARKING STANDARDS

Table III-8, *Non-residential Minimum Parking Requirements*, sets forth minimum parking requirements for implementing non-residential projects within RIO VISTA Specific Plan. Compliance with the California Green Building Standards Code (CalGreen) also is required pertaining to specific parking requirements for bicycle parking, designated parking for clean air vehicles, EV charging stations, and other parking requirements regulated by CalGreen.

TABLE III-8 NON-RESIDENTIAL MINIMUM PARKING REQUIREMENTS

	Minimum Parking Requirements ¹	Special Conditions
LIGHT INDUSTRIAL USES²		
Industrial Buildings	1 space per 4,500 SF; 1 space per 250 SF of office area; 1 space per 500 SF of fabrication area	One (1) tractor-trailer space is required per every four (4) dock high doors
Manufacturing Buildings	1 space per 500 SF of building area; Plus 1 space per every company vehicle	
Mini-Warehouses/Self Storage Buildings	1 space per 2,000 SF	
Manufacturing Warehouse and Wholesale Buildings	1 space per 1,000 SF for the first 20,000 SF; Plus 1 space per 2,000 SF for that portion over 20,000 SF	1 tractor-trailer space is required per every four (4) dock high doors
OPEN SPACE AND RECREATIONAL USES²		
Community Park	1 space per 8,000 SF of active recreational space within a park or playground; Plus 1 space per one (1) acre of passive recreational area within a park or playground ²	
Pocket/Neighborhood Parks	Minimum of 2 on-street parking spaces provided along adjacent local streets.	
BUSINESS PARK AND OTHER USES²		
Business Park Buildings	1 space per 500 SF of building area; Plus 1 space per every company vehicle	
Professional Office/Medical Office/Clinics or Laboratories	4 spaces per 1,000 SF	
All Other Uses	Refer to Section 9.240.120 of the Jurupa Valley Municipal Code.	
Notes: ¹ Minimum Parking Requirements are calculated by the building's gross floor area. ² A reduction or modification in parking may be granted through shared parking analysis pursuant to Section 9.240.120 B(4)v of the City of Jurupa Valley Municipal Code.		

F. PERMITTED, CONDITIONAL, AND ANCILLARY USES

Land within the RIO VISTA Specific Plan and structures/facilities therein may be developed, divided, and/or used for those activities listed in Table III-9, *Light Industrial and Business Park Permitted Uses*. Table III-9 lists the permitted, conditionally-permitted, and ancillary land uses for the Light Industrial and Business Park land use districts established by this Specific Plan. A use that is not listed in Table III-9 is a prohibited use unless otherwise allowed pursuant to the procedures described in Section V, *Specific Plan Administration*, or applicable interpretations and determinations established by the City of Jurupa Valley.

If the use is not expressly listed as permitted or conditionally permitted by Table III-9, the use is prohibited unless the Community Development Director determines the use is substantially similar in character and intensity to the list of permitted and conditionally permitted uses in the Specific Plan.

The symbols shown in Table III-9 have the following meanings:

- “P” means the land use is Permitted by right of being in the proper land use designation, subject to the Development Standards applicable to that Land Use Designation.
- “SDP” means the land use is Permitted, subject to the filing of a Site Development Permit in accordance with the requirements of JVMC Section 9.240.330, Site Development Permit.
- “C” means the land use is Conditionally Permitted, subject to the filing of a Conditional Use Permit in accordance with the requirements of the City of Jurupa Valley and must be approved by the City of Jurupa Valley before the use can be established within a particular land use designation.
- “A” means the land use is Permitted by right of being in the proper land use designation, provided the use is Ancillary to the Primary Permitted or Conditionally Permitted use of the property.
- “NP” means the land use is prohibited within that land use designation.

Table III-9A RESIDENTIAL PERMITTED USES (PAS 1-9)

USE LEGEND: P: PERMITTED SDP: PERMITTED WITH SDP C: CONDITIONAL USE A: ANCILLARY NP PROHIBITED					
USE	PLANNING AREAS				ADDITIONAL NOTES
	PLANNING AREAS 1, 2, & 7 (MEDIUM DENSITY RESIDENTIAL)	PLANNING AREAS 3 & 8 (MEDIUM HIGH DENSITY RESIDENTIAL)	PLANNING AREAS 4, 5, & 6 (HIGH DENSITY RESIDENTIAL)	PLANNING AREA 9 (HIGHEST DENSITY RESIDENTIAL)	
Residential:					
One (1) Family Dwelling Units	P	P	P	P	
Boarding, rooming, and lodging houses	NP	NP	NP	SDP	
Congregate care residential facilities	NP	NP	SDP	SDP	Must conform with Section 9.270 of the City Municipal Code.
Home Occupations	P	P	P	P	
Mobilehome parks, developed pursuant to Section 9.260.030	C	C	C	C	
Planned residential developments, provided a land division is approved pursuant to the provisions of Title 7 and the development standards in Section 9.240.060 or 9.240.070	P	P	P	P	
Two (2) family-dwellings, multiple-family dwellings, bungalow courts, and apartment houses	NP	NP	P	P	SDP required for all new homes with more than two (2) units per lot and must conform with Section 9.240.545 of the City Municipal Code.
Non-Residential:					
Beauty shops, including beauty shops operated from a home by its inhabitants where no assistants are employed and the on-site sign is unlighted and does not exceed two (2) square feet in area ²	SDP	SDP	NP	NP	
Child day care center ²	SDP	SDP	NP	NP	
Churches, temples and other places of religious worship	C	C	NP	NP	
Public parks and playgrounds, golf courses with standard length fairways, and country clubs	P	P	P	P	
Structures and installations necessary to the conservation and development of water such as dams, pipelines, water conduits, tanks, canals, reservoirs, wells and the necessary pumping and water production facilities.	NP	P	NP	NP	
Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to	SDP	SDP	SDP	SDP	

USE LEGEND: P: PERMITTED SDP: PERMITTED WITH SDP C: CONDITIONAL USE A: ANCILLARY NP PROHIBITED					
USE	PLANNING AREAS				ADDITIONAL NOTES
	PLANNING AREAS 1, 2, & 7 (MEDIUM DENSITY RESIDENTIAL)	PLANNING AREAS 3 & 8 (MEDIUM HIGH DENSITY RESIDENTIAL)	PLANNING AREAS 4, 5, & 6 (HIGH DENSITY RESIDENTIAL)	PLANNING AREA 9 (HIGHEST DENSITY RESIDENTIAL)	
exceed a period of two (2) years in any event ²					
Water works facilities, both public and private, intended primarily for the production and distribution of water for irrigation purposes ¹	NP	P	NP	NP	
Notes: ¹ Pursuant to Section 9.45.010 for Planning Areas 10 and 11, of the City's Municipal Code. ² Must conform with Section 9.240.330 of the City's Municipal Code, <i>Site Development Permits</i> . ³ Must conform with Section 9.240.460 of the City's Municipal Code, <i>Kennels and Catteries</i> .					

Table III-9B RESIDENTIAL PERMITTED USES (PAS 10 AND 11)

USE LEGEND: P: PERMITTED SDP: PERMITTED WITH SDP C: CONDITIONAL USE A: ANCILLARY NP: PROHIBITED		
USE	PLANNING AREAS 10 & 11 (VERY LOW DENSITY RESIDENTIAL)	ADDITIONAL NOTES
Residential:		
One (1) Family Dwelling Units	P	
Home Occupations	P	Must conform with Section 9.10.630 of the City Municipal Code.
Noncommercial keeping of horses on lots not less than twenty thousand (20,000) square feet in area and one hundred (100) feet in width, provided they are kept not less than one hundred (100) feet from any street and twenty (20) feet from any property line. A maximum of two (2) horses per twenty thousand (20,000) square feet and, in any event, not more than four (4) horses on a lot will be permitted. If a lot is one (1) acre or more in area, poultry, crowing fowl (chickens only), rabbits, chinchillas, guinea pigs, parakeets and small fowl may be kept for the use of the occupants of the premises only. The poultry, crowing fowl, rabbits, chinchillas, guinea pigs, parakeets and small fowl shall be kept in an enclosed area located not less than twenty (20) feet from any property line and not less than fifty (50) feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use. If a lot is two (2) acres or more in area, two (2) sheep or goats or combination thereof may be kept in addition thereto provided they are kept not less than one hundred (100) feet from any street, twenty (20) feet from any property line and fifty (50) feet from any residence ²	P	
Non-Residential:		
Beauty shops, including beauty shops operated from a home by its inhabitants where no assistants are employed and the on-site sign is unlighted and does not exceed two (2) square feet in area	SDP	
Child day care center ²	SDP	
Churches, temples and other places of religious worship	SDP	
Public parks and playgrounds, golf courses with standard length fairways, and country clubs	SDP	
Structures and installations necessary to the conservation and development of water such as dams, pipelines, water conduits, tanks, canals, reservoirs, wells and the necessary pumping and water production facilities.	P	
Telephone transmission lines, telephone exchanges and offices ¹	P	
Trail bike parks ¹	C	
Water works facilities, both public and private, intended primarily for the production and distribution of water for irrigation purposes ¹	P	
Notes:		
¹ Pursuant to Section 9.45.010 for Planning Areas 10 and 11, of the City's Municipal Code.		
² Must conform with Section 9.240.460 of the City's Municipal Code, <i>Kennels and Catteries</i> .		

Table III-10 LIGHT INDUSTRIAL AND BUSINESS PARK - PERMITTED USES

USE LEGEND: P: PERMITTED SDP: PERMITTED WITH SDP C: CONDITIONAL USE A: ANCILLARY NP PROHIBITED			
USE	PLANNING AREAS		ADDITIONAL NOTES
	PLANNING AREAS 12 & 13 (LIGHT INDUSTRIAL)	PLANNING AREAS 14, 15, & 16 (BUSINESS PARK)	
<i>Eating and Drinking Establishments:</i>			
Brewery, distillery, or winery	CUP	CUP	
Food markets, or food halls	NP	P	
Restaurants and other eating establishments	NP	SDP	
Restaurants and other eating establishments (with alcohol)	NP	CUP	
<i>Industrial Uses:</i>			
Apparel and industrial design ¹	SDP	SDP	
Artisan crafts (made by hand) such as glassworks, jewelry, and pottery ¹	SDP	SDP	
Beverage bottling & distribution ¹	SDP	SDP	
Cold storage facilities (up to 50,000 SF)	SDP	CUP	
Cold storage facilities (up to 200,000 SF)	SDP ¹	NP	
Cold storage facilities (>200,000 SF)	CUP	NP	
Electrical equipment, appliance and component manufacturing ¹	SDP	SDP	
Energy production facility	CUP	CUP	
Manufacture of containers and crates	SDP ¹	SDP ¹	
Fabrication of wood buildings and structures	SDP ¹	SDP ¹	
Food manufacturing and processing (grain and bakery products, sugar and confectionary products, beverages, bread, tortilla, snack foods, roasted nuts and peanut butter, coffee, tea, flavoring syrup, seasoning and dressing, spice extract) ¹	SDP	SDP	
Ghost kitchens/Delivery only restaurants ¹	SDP	SDP	Food preparation establishment for off-site premise consumption only.
Handicraft/custom manufacturing ¹	SDP	SDP	
Laboratory – Medical, analytical, research, testing	SDP ¹	SDP ¹	
Furniture, cabinet, and related product Manufacturing ¹	SDP	SDP	
Machinery manufacturing ¹	SDP	SDP	
Manufacturing and repair of engineering, scientific, and medical instrumentation and equipment ¹	SDP	SDP	
Medical and dental equipment assembly and delivery ¹	SDP	SDP	
Pharmaceutical and medicine manufacturing (excludes biological product manufacturing) ¹	SDP	SDP	
Plastics fabrication & molding ¹	CUP	CUP	
Printing and related support activities ¹	SDP	SDP	
Public utility substations and storage buildings	SDP ¹	SDP ¹	Only on a limited bases to support the Specific Plan area
Research and development ¹	SDP	SDP	
Recreational Vehicle (RV) and Boat Storage	CUP	CUP	Must be screened from public view with a combination of decorative walls, berms, and/or landscaping.

USE LEGEND: P: PERMITTED SDP: PERMITTED WITH SDP C: CONDITIONAL USE A: ANCILLARY NP PROHIBITED			
USE	PLANNING AREAS		ADDITIONAL NOTES
	PLANNING AREAS 12 & 13 (LIGHT INDUSTRIAL)	PLANNING AREAS 14, 15, & 16 (BUSINESS PARK)	
Recycling facility	SDP	NP	Must be screened from public view with a combination of decorative walls, berms, and/or landscaping.
Studios, multi-media production ¹	SDP	SDP	
Transportation equipment manufacturing ¹	SDP	SDP	
Self-storage facilities ¹	SDP	SDP	
Vehicle storage within a building ¹	SDP	SDP	No salvage vehicle storage or auctions allowed.
Transportation and Utilities:			
Transit stops, station, or terminal	P	SDP	
Antennas and telecommunications facilities	SDP	SDP	Must conform with Chapter 9.275 of City's Municipal Code – Wireless Communication Facilities.
Open Space and Recreation:			
Public and private trails	P	P	
Public and private active and passive recreation amenities (e.g., parcourse, picnic and BBQ, shade structures, bocce ball, etc.)	P	P	
Office, Retail, Service, and Educational Uses:			
Automobile, truck, motorcycle, boat and RV sales ¹	SDP	SDP	
Auto repair service facilities	NP	SDP ¹	
Data processing centers & data storage ¹	SDP	SDP	
Day care centers	NP	SDP ¹	
Banks and financial institutions ¹	SDP	SDP	
Barber and beauty shops	NP	SDP	
Blueprint and duplicating services ¹	SDP	SDP	
Building materials yard*	SDP	SDP	Must be screened from public view with a combination of decorative walls, berms, and/or landscaping.
District – Mailbox and post services store ¹	SDP	SDP	Courier and express delivery services of parcels, including goods and products.
Electric fuel station	SDP	SDP	Also permitted as an Ancillary Use in Business Park and Light Industrial PAs.
Hardware and home improvement center ¹	SDP	SDP	
Nurseries and garden supply stores ¹	SDP	SDP	
Office equipment sales and service ¹	SDP	SDP	
Offices, professional sales and services, including but not limited to business, law, medical, dental, chiropractic, government administration, architectural and engineering, public utilities	P	P	
Public or private schools	NP	SDP ¹	Includes advanced education and trade schools.
Vehicle services – repair and maintenance	NP	SDP ¹	
Residential Uses:			
Ancillary Uses to an Allowed Principal Use:			
Auto repair services	A	NP	
Barber and beauty shops	A	NP	
Day care centers	A	NP	
Food markets, or food halls	A	NP	
E-commerce (Internet fulfillment)	A	NP	

USE LEGEND: P: PERMITTED SDP: PERMITTED WITH SDP C: CONDITIONAL USE A: ANCILLARY NP PROHIBITED			
USE	PLANNING AREAS		ADDITIONAL NOTES
	PLANNING AREAS 12 & 13 (LIGHT INDUSTRIAL)	PLANNING AREAS 14, 15, & 16 (BUSINESS PARK)	
Industrial retail sales	A	A	Direct to consumer sales of goods or products either manufactured, warehoused or wholesaled on-site
Outdoor storage	A	A	No salvage vehicle storage allowed.
Pallet storage	A	NP	
Vehicle storage	A	A	
Gas fueling pumps for fleet service	A	A	
Additional storage (completely within a building) ¹	A	A	
Truck storage, parking, fleet Vehicles, vehicle services, repair and/or maintenance ¹	A	A	
Student Housing ¹	NP	A	
Additional ancillary uses as approved by the SDP process.	A	A	
Notes: ¹ SDP is only required 1) for the construction of a new building; 2) substantial changes are made to an existing building or site to accommodate the use; 3) if there is a modification in use, which changes the use intensity and character. If minor building or site changes are needed, the use is permitted by right. Refer to Section III.F. of this Specific Plan for SDP processing procedures.			

Table III-11 Open Space & Public Facilities Permitted Uses

USE LEGEND: P: PERMITTED SDP: PERMITTED WITH SDP C: CONDITIONAL USE A: ANCILLARY NP PROHIBITED						
USE	PLANNING AREAS					ADDITIONAL NOTES
	PLANNING AREA 17 (PUBLIC FACILITY – WATER TANK)	PLANNING AREA 18 (PUBLIC FACILITY – SCHOOL)	PLANNING AREA 19 (OPEN SPACE – RECREATION)	PLANNING AREA 20 (OPEN SPACE – WATER)	PLANNING AREAS 21A – 21D (OPEN SPACE- CONSERVATION)	
Hiking and equestrian trails	NP	NP	P	NP	P	Existing trails are permitted within Planning Areas 21A through 21D.
Natural water recharge, percolation and watersheds	P	NP	NP	P	NP	
Public parks and playgrounds	NP	P	P	NP	NP	
Public School	NP	P	NP	NP	NP	
Utilities (private)	P	P	P	P	NP	
Utilities (public)	P	P	P	P	P	
Vistas and viewpoints	NP	NP	P	NP	P	
Water works facilities, both public and private intended primarily for the production and distribution of water for agricultural purposes	P	NP	NP	P	NP	
Note: Landscape and manufactured slopes, irrigation, retaining walls, storm drainage and water quality facilities (e.g. pipes culverts, basins, pumps and channels), maintenance access roads, water storage and conveyance facilities (e.g. pipes, tanks, booster stations) and associated easements, sewer conveyance facilities (e.g. pipes and pumps) and associated infrastructure as needed are permitted in all Planning Areas and land uses, consistent with the Rio Vista EIR and mitigation measures.						

G. CIRCULATION DEVELOPMENT STANDARDS

1. Roadway improvements, as depicted on Figure II-2, *Vehicular Circulation Plan*, shall be constructed in accordance with the *Conceptual Phasing Plan* (Figure II-9), and/or as specified in the Specific Plan Conditions of Approval.
2. Construction of on-site roadways shall be as depicted on Figure II-4, *Roadway Cross-Sections*, or as approved by the City Engineer.
3. Driveways and access point locations, as shown in this Specific Plan, are conceptual until approved by the Engineering Department (as necessary) and shall conform to the City's standard access spacing, depending upon the street's classification.
4. The locations, alignments, and widths of private driveways and drive aisles will be determined at the time buildings are designed and positioned in each PA as part of implementing development projects, and are subject to approval of the City Engineer.
5. Landscaping shall be in accordance with the streetscape treatments depicted in Section IV, *Design Guidelines*.
6. Circulation facilities shall be maintained as described in Section II.H, *Maintenance Plan*.
7. Landscaping within public and private road rights-of-way shall be in accordance with the streetscape treatments and Plant Palette as depicted in Section IV, *Design Guidelines*.
8. Landscaping within public road rights-of-way shall require approval by the Engineering and Community Development Departments and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism as approved by the City.
9. The ultimate right-of-way width for Local Roads (56' or 60') within residential PAs shall be determined with implementing projects.

H. OPEN SPACE AND RECREATION DEVELOPMENT STANDARDS

1. All recreational facilities will be landscaped and irrigated in a manner that is compatible with the type of plant material and landscape setting.
2. Section IV, *Design Guidelines*, of this Specific Plan Amendment and all applicable City of Jurupa Valley standards, County/City Service Area (CSA) standards, and/or Jurupa Area Recreation and Park District (JARPD) standards as applicable, govern landscaping within recreation and open space areas.

I. WATER AND SEWER DEVELOPMENT STANDARDS

1. All water and sewer lines shall be placed underground, unless otherwise approved by the City of Jurupa Valley, and RCSD.
2. Water and sewage disposal facilities shall be installed in accordance with the requirements and specifications of the State Department of Health Services and the City of Jurupa Valley.

3. The project proponent shall obtain will-serve letters from the RCSD before project implementation.
4. Initial backbone improvements necessary for the water and sewer service on site shall be constructed as part of Phase 1. These improvements shall connect the on-site systems with RCSD regional facilities. Phasing of the remaining sewer and water improvements shall be conducted in accordance with the Phasing Plan described in Section G, *Project Phasing Plan*, to ensure community's wet utility needs are met in a timely and efficient manner.

J. STORM DRAINAGE DEVELOPMENT STANDARDS

1. All drainage and flood control measures shall be provided in accordance with the requirements of the City of Jurupa Valley Public Works Department, and the Riverside County Flood Control and Water Conservation District. For the western portion of the project site, all drainage and flood control measures shall be consistent with the provisions of the Paramount Estates Master Drainage Plan including any modifications thereto. For the northeastern portion of the project site, all drainage and flood control measures shall be consistent with the provisions of the proposed Belltown Master Drainage Plan including any modifications thereto. Storm drain facilities shall ensure the acceptance and disposal of storm runoff without damage to streets or adjacent properties. A preliminary Project Specific Water Quality Management Plan shall be reviewed and approved prior to the issuance of conditions of approval for any implementing project within the Specific Plan Amendment. A Final Project Specific Water Quality Management Plan shall be reviewed and approved prior to the issuance of any Grading or Building permits.
2. All projects proposing construction activities including clearing, grading, or excavation that result in the disturbance of at least one acre of total land area, or activity which is part of a larger common plan of development of one acre or greater, shall obtain the appropriate National Pollutant Discharge Elimination System (NPDES) construction permit and pay the appropriate fees. All developments within the specific plan boundaries shall be subject to requirements adopted by the City to implement the NPDES program. Mitigation measures may include, but not limited to; onsite retention; covered storage of all outside storage facilities; vegetated swales; and monitoring programs.

K. GRADING DEVELOPMENT STANDARDS

1. Grading shall conform to the current California Building Code.
2. Grading shall conform to City of Jurupa Valley regulations and discretionary permit conditions of approval and required mitigation measures.
3. Grading shall conform to the Project's geotechnical investigation report, geotechnical engineer recommendations as approved by the City's Engineering Department, and specific studies.
4. Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared to analyze on-site soil conditions and slope stability and shall include appropriate measures to control erosion and dust.
5. Graded slopes steeper than 3:1 and/or higher than 5 feet that are undeveloped shall be maintained and planted with interim landscaping within ninety (90) days of completion of grading, unless building permits are obtained.
6. A grading permit shall be obtained from the City of Jurupa Valley prior to grading.

L. PROJECT PHASING DEVELOPMENT STANDARDS

1. Development of each PA, if applicable, shall include development of adjacent common open space areas, landscape development zones, and applicable infrastructure.
2. The phasing sequence of roadways, public utilities, and infrastructure described herein shall generally be developed in accordance with Figure II-9, *Conceptual Phasing Plan*. Certain PAs may be developed out of sequence, or in smaller increments, provided that the required infrastructure and services are available at the time of development.

IV. OBJECTIVE DESIGN STANDARDS AND DESIGN GUIDELINES

A. PURPOSE AND INTENT STATISTICAL

These objective design standards and design guidelines establish the pattern and character of development within RIO VISTA to create an aesthetically cohesive thematic concept for the community. These objective design standards and design guidelines utilize landscape materials to complement the natural topography and architectural styles which evoke the historic architectural styles of the City of Jurupa Valley and the Inland Empire region.

B. INTRODUCTION

These standards and guidelines are comprised of elements that define the design concept, physical character, and theme of RIO VISTA. The principal components of this section are architectural objective design standards, architectural design guidelines, and landscaping design guidelines.

The architectural objective design standards and design guidelines articulate the characteristics of the built environment. Elements such as architectural theme, building massing and scale, materials and colors, and site planning guidelines combine to form a distinctive identity that defines RIO VISTA. The architectural objective design standards and design guidelines provide assurance that the homes constructed in RIO VISTA will be of high quality and create interesting community street scenes. In addition, there are architectural design guidelines that would apply to the Light Industrial/Business Park buildings within the RIO VISTA specific plan.

This section also establishes the key architectural styles associated with each residential product type, whether attached or detached and the architectural “elements” that shall be considered in all residential development.

1. Residential Objective Design Standards

The architectural objective design standards are minimum design requirements applicable to residential development within Rio Vista. The architectural objective design standards for Rio Vista provide clear expectations on the design of new residential development and allow for predictable development outcomes. The objective design standards are identified under each topic within this Chapter. All buildings within Rio Vista will be designed to meet or exceed the applicable standards set forth in the most current edition of California Building Standards Code - California Energy Code (Title 24, Part 6) and California Green Building Standards Code (Title 24, Part 11). Other sustainable design practices are also encouraged, such as the use of simple massing forms and efficient framing techniques, rapidly renewable resources, and durable materials that require less frequent replacement.

2. Design Guidelines

The design guidelines provided in Section 2 of this Chapter express “intent” rather than “absolutes,” thus allowing a certain degree of design flexibility to foster creativity and innovation and their compliance is voluntary and not required. The images provided herein serve as visual aids in understanding the basic intent of the guidelines. They are not meant to depict actual neighborhood, lot, or building design. *Design guidelines are provided for residential architecture (Section 2.A), landscaping (Section 2.B), and light industrial/business park architecture (Section 2.C).*

1. RESIDENTIAL OBJECTIVE DESIGN STANDARDS

This section sets forth objective design standards for the detached and attached residential architecture of RIO VISTA. These objective design standards establish a consistent architectural expression to reflect the community's "Scenic Southern California" theme.

Developers, builders, engineers, architects, landscape architects, and other design professionals reference these objective design standards in order to maintain design continuity throughout the community. Community Development Department and Public Works Department utilize these objective design standards to evaluate new residential projects during the discretionary permit process for compliance with the objective design standards.

a. Residential Architectural Elements

Variety in building forms provides diversity and visual interest to the neighborhood street scene. The following shall be incorporated into the design of residential developments:

i. **Building Mass and Scale**

- 1) For all detached single family residential lots in Planning Areas 1, 2, 7, 8, 10 and 11 that have a minimum lot size of 3,800 square feet or larger, at least 15% of these lots shall have a single-story or "pop-top" homes. The minimum lot size is identified on the Tentative Tract Map. "Pop top" homes shall be designed to appear as single-story homes from the front facing façade. The pop top home includes an improved attic space on less than 40% of the home's first floor footprint and functions as a second story. Examples of permitted pop top homes are provided below.



- 2) Provide one-story elements along the front elevation for a minimum of 20% of detached single-family dwellings in Medium Density Residential (MDR) areas (Planning Areas 1, 2, & 7), Medium High Density Residential (MHDR) (Planning Areas 3 & 8) and High Density Residential (HDR) areas (Planning Areas 4, 5 & 6). At least one of the following street scene enhancement features need to be provided:
 - Incorporate significant variation in massing and composition (in addition to finishing materials) of the buildings along the street, such as:
 - Single-story elements, including but not limited to arches, patios, beams, and windows, on a minimum of 30 percent of the buildings facing a public/private street.

- Varying the upper-story massing offsets on a minimum of 30 percent of the buildings in one of the following ways:
 - The massing offsets shall be a minimum of three (3) feet deep and span a minimum of one-third of the width of the home.
 - Upper-story massing offsets shall be a minimum of three (3) feet deep and include balconies with roofs, open decks, or trellis elements
- 3) Provide massing breaks and articulation features on elevations facing a public street or a park by incorporating at least two of the following features:
 - Varying setback distances by at least two feet at least once on the elevation facing the public street or park,
 - Doors and windows recessed by a minimum of two inches,
 - Architectural projections of two feet or more in any direction.
- 4) Each group of four adjacent buildings shall include at least one building where the front setback differs from those of adjacent buildings by a minimum of four feet.
- 5) Minimum front setback requirements may be reduced by up to two feet, provided the average front setback of buildings on the block shall be no less than the required front setback for the respective Planning Area.

ii. Building Materials and Colors

- 1) A minimum of three different architectural styles and three different color schemes are required to encourage diversity and variation within neighborhoods.
- 2) No more than three different cladding materials on the same elevation is allowed, Vinyl and aluminum siding shall be prohibited.
- 3) A base treatment shall be provided at the ground floor consisting of a material such as stone, concrete masonry, or other material distinct from the remainder of the façade and projecting at least one inch from the wall surface of the remainder of the building.
- 4) Material changes shall occur at inside corners or undersides of massing. Where there is no inside corner or logical point to terminate the material, the material must wrap the outside corner of the building a minimum of two feet before terminating. Materials changes may not occur at outside corners.
- 5) Color changes shall occur at inside corners, undersides of massing, trim elements, gable ends or accent panels. Colors shall not change at outside corners. Stucco surfaces shall be float, light lace or smoother finishes, consistent with the corresponding architectural style.
- 6) Stucco trim, stucco eaves, and banding shall be smooth, sand, light lace or dash finish.
- 7) Materials other than stucco (such as siding, stone, stone veneer, or brick) shall comprise a minimum of 25% of each elevation.

iii. Roof Materials, Forms and Styles

- 1) The following requirements apply to roof forms for detached residential structures: Roofs must be designed to incorporate a minimum of two varying roof heights and types (hip, gable, shed, flat, etc.).
- 2) Rooflines must be vertically articulated at least every fifty feet along the street frontage with architectural elements such as parapets, varying cornices, reveals, clerestory windows, and varying roof height and/or form.
- 3) Skylights are permitted but shall be designed as an integral part of the roof. White “bubble” skylights are not permitted. Skylight framing material should be bronze anodized or colored to match the adjacent roof.
- 4) Variety in roof lines is required to avoid a common roof line along neighborhood streets. Rooflines of adjoining residences are required to vary ridge heights, roof forms, and direction of gables.
- 5) Repetitious gable ends framed side to side on rear elevations are not permitted along perimeter edges of residential neighborhoods. No more than three adjacent residences may have primary gable end roof forms facing the visible perimeter edges of the Planning Area.
- 6) Gambrel and mansard roof forms are prohibited.

iv. Windows and Doors

Windows and doors are important architectural features that complement and reinforce the selected architectural style. The following requirements shall be adhered to regarding the use of windows and doors in residential structures:

- 1) Windows on the front elevations and corner lot street-facing side and/or rear elevations windows that are visible from a street, shall incorporate a minimum of one of the following enhancements: window recess for all windows visible from a street; trim surrounds for all windows visible from a street; headers/sills for all windows visible from a street; shutters for all windows visible from a street; awnings for all windows visible from a street; projecting trellises, or decorative grills. For the Spanish architectural style, a minimum depth of at least three inches from glass to wall edge around windows shall be provided if there is no trim provided.
- 2) Glazing may be clear or tinted. Mirrored or highly reflective glass is not permitted.
- 3) Gold window and door frames are not permitted.

b. Residential Architectural Design Features

The residential architectural design features are organized into two categories, detached residential (single-family homes) and attached multi-family units.

i. Detached Residential (Single-Family Homes)

The following objective design standards apply to the following Residential Architectural Design Features:

- 1) Courtyards:** Courtyards provide a transition from the public space of the street to the entrance of the dwelling.
 - Courtyard walls shall be finished with the same materials and colors as the residence.
 - The height of courtyard walls shall not exceed 4 feet, if located outside the normal setback line; otherwise, courtyard wall heights shall not exceed 32 inches (common height of “knee wall”).
 - Design and construction of courtyards walls shall comply with Title 9 of the City of Jurupa Valley Municipal Code.
- 2) Porches:** When provided,
 - Front porches shall have a minimum depth of eight feet and minimum width of 10 feet.
 - The maximum width of a support pillar shall be 3 feet.
 - A minimum clear height of eight feet shall be provided.
- 3) Patios, Balconies, and California Rooms**
 - Patios and balconies shall conform to the residential lot’s setback requirement.
 - Balconies shall have a minimum depth of four feet (excluding Juliet balconies or similar decorative balconies which shall have a minimum depth of 1 foot).
- 4) Exterior Lighting**
 - Exterior lighting intensity and light fixtures shall be focused, directed, and arranged so there is no direct illumination on streets or adjoining property.
- 5) Gutters, Downspouts, Utility Meters & Mechanical Equipment**
 - Gutters and downspouts shall be colored to match the adjacent surface.
 - Utility meters affixed to a structure shall be placed on the side or rear elevations and painted to match the color of the adjacent wall surface, as permitted by the servicing utility agency.
 - Mechanical devices such as exhaust fans, vents and pipes shall be painted to match the adjacent surfaces.
 - Mechanical equipment such as air conditioners, heaters, evaporative coolers, and other such devices (excluding solar panels) are prohibited on roofs of detached single-family homes.
- 6) Residential Accessory Structures**

- Accessory dwelling units, casitas, guesthouses, detached garages, and other similar accessory structures on the lot shall include the same materials, and colors of the main building.
- All residential accessory structures shall conform to the RIO VISTA Specific Plan Objective Design Standards and Title 9 of the City's Municipal Code (Section 9.240.170 and Section 9.240.290).

7) Garages and Driveways

- Garages shall be offset from the front face of the building by a minimum of 2 feet (except for side entry garages).
- Side entry garages shall be limited to lots 55 feet or wider to allow for adequate back-up space.
- Garage setback shall be greater than or equal to 18 feet off-street parking is provided within a driveway..
- Manual gates are prohibited across residential driveways to avoid stacking.



Examples of architecture design that encourage streetscapes with non-dominant garage features.



Examples of garage design for front-facing or side-entry garages.

ii. Attached Residential (Multi-family)

The following objective design standards apply to the following architectural exterior design features:

1) Courtyards

- Courtyard walls shall be finished with the same materials and colors as the residence .

- The height of courtyard walls shall not exceed 4 feet, if located outside the normal setback line; otherwise, courtyard wall heights shall not exceed 32 inches (common height of “knee wall”).
- Design and construction of courtyards walls shall comply with the City of Jurupa Valley Land Use and Development Ordinance.

2) Balconies

- Balconies shall have a minimum depth of four feet (excluding Juliet balconies or similar decorative balconies which shall have a minimum depth of 1 foot).

3) External Equipment: All external equipment shall comply with the following requirements.

- No mechanical equipment (i.e., air conditioning/heating units) excluding solar equipment, shall be mounted on, or attached to, any sloped roof.
- When mechanical equipment is mounted on flat roofs, mechanical equipment shall be completely screened by parapet walls at least as tall as the equipment screened.
- Gutters and downspouts shall be colored to match the adjacent surface.
- Mechanical devices such as exhaust fans, vents and pipes shall be painted to match the adjacent surfaces.

4) Community Facilities and Related Accessory Structures: Clubhouses, recreation buildings, storage buildings, trash enclosures and other support buildings shall comply with the objective design standards. Clubhouses, recreation buildings shall utilize the same materials and colors of the residential buildings.

- All accessory structures shall conform to the requirements of the Specific Plan and Jurupa Valley Municipal Code Section 9.240.160.
- All community facilities and related accessory structures shall be submitted for a Site Development Permit prior to the issuance of the first building permit for any unit or community structure, whichever occurs first and must be reviewed and approved by the Community Development Director.
- Trash and recycling enclosures shall be constructed of concrete masonry units finished with the same material and color as the main residential building.
- Each trash enclosure and recycling shall have a lighted access that meets federal accessibility standards.
- Trash and recycling enclosures must be roofed in order to comply with storm water pollution prevention.
- All trash enclosures shall have opaque gates that match the color of the residential buildings within the development.

c. Residential Architectural Styles Guidelines

For both the traditional detached homes and the attached homes, the architectural styles within RIO VISTA capture the rural heritage of the City of Jurupa Valley. As described earlier, a variety of architectural styles is pivotal to creating an interesting, high-quality community, therefore, RIO VISTA features five unique architectural styles that adhere to the overall Community Theme. Any residences constructed should be one of the five architectural styles set forth below and each residential planning area shall include a minimum of three architectural styles in accordance with the residential objective design standards.

i. **American/Modern Farmhouse**

Originating in the Midwest in the mid-1800s, the American/Modern Farmhouse style ranges from small, simple structures to more elaborate homes featuring elements borrowed from other styles, particularly Victorian. This style gives a general feeling of nostalgia – of a simpler time, with a sentimental connection to the land surrounding it and America's rich architectural history. Front gables, porches and extended roof eaves are all style trademarks regardless of the home's size. Some of the core elements of the American/Modern Farmhouse style include dormers, covered porches, and white paint with floor plans that are both practical and pleasant for a growing family. Originally, more formal spaces were placed near the front of the home, but in modern day, formal spaces are being left by the wayside to gathering spaces with an overall feeling of welcome and comfort.

Key Design Features of the American Farmhouse style are illustrated on Figure IV-1, *American/Modern Farmhouse Architectural Style*, and, Figure IV-2, *American/Modern Farmhouse (HDR/HHDR Architecture)*, typically include the following features:

- | | |
|---|--|
| <p>1) Exterior Materials</p> <ul style="list-style-type: none"> ● Shingle siding ● Stone/Stone veneer and brick ● Clapboard siding ● Board and batten siding ● Shiplap paneling <p>2) Roofs</p> <ul style="list-style-type: none"> ● Gabled roof ● Extended roof eaves ● Intersecting gable roofs <p>3) Windows</p> <ul style="list-style-type: none"> ● Double hung with mullions ● Window that is taller than it is wide ● Shutters ● Accent windows particularly in gable location | <p>4) Design Features</p> <ul style="list-style-type: none"> ● One or two stories ● Asymmetrical massing with a gable at the front of the house ● Functional porches ● Simple vertical lines ● Gabled ends, soffits ● Strong porch columns ● Typically, rectangular in shape ● Covered porch large enough to accommodate seating <p>5) Color</p> <ul style="list-style-type: none"> ● White ● Earth tones ● Hues from the Victorian palette |
|---|--|

AMERICAN/MODERN FARMHOUSE

Characteristic Design Features:

* Enhanced Architectural Elements

1. Stone Veneer or Brick Accents with Shingle Siding.*
2. Gabled Roof with Overhanging Eaves.
3. Double-Hung Windows with Mullions.*
4. Intersecting Gable Roofs.
5. White to Soft Earth-Tone Colors.
6. Portrait Windows with Shutters.*
7. One or Two Story.
8. Simple Vertical Lines.
9. Asymmetrical Massing with Front Gable.
10. Functional Porch with Strong Porch Columns.



Figure IV-1



Figure IV-2

American/Modern Farmhouse (HDR/HHDR Architecture)

ii. Bungalow

Often referred to as America's Arts and Crafts home, the popularity of the bungalow style peaked at the turn of the 20th century, when America was still looking for distinctly domestic architectural styles. While exhibiting craftsmanship, the style uses modest materials. The style is best presented in simple forms, usually with low, broad proportions. The roof forms are cross-gabled, side-gabled and hipped. There is usually a heavy feel in the structural forms and details.

Key Design Features of the Bungalow style are illustrated on Figure IV-3, *Bungalow Architectural Style*, and typically include the following:

- 1) Exterior Materials
 - Primary materials are wood/wood-like siding, wood/wood-like shingles, and some use of stucco
 - Stone/stone veneer or brick used for accent areas such as chimneys and column bases
 - Exposed wood/wood-like beams stained or painted in natural colors
- 2) Roofs
 - Low rooflines with broad eaves and horizontal emphasis
 - Roofs often carried forward to a large and expansive covered front porch
 - Exposed wood/wood-like beams, knee braces or other indications of structural support
 - Flat concrete tiles, premium grade shingle style composition roofs are also acceptable
- 3) Windows
 - Vertical in proportion, some horizontal windows under second-story rooflines
 - Frequently, divided windows with mullions and break-ups and wood/wood-like trim are used
- 4) Design Features
 - Low horizontal emphasis with single story edges
 - The covered front porch is a major design statement, to reinforce outdoor living
 - Porch columns are often wide, tapered, and support a wooden post
 - Emphasis on clean, simple, and direct forms for both elevations and floor plans
- 5) Color
 - Wood/wood-like is often in earth tones and stains
 - Stucco is usually found in lighter tones
 - Trim pieces can be stronger in color.
 - Front doors often left in natural wood colors

BUNGALOW

Characteristic Design Features:

* Enhanced Architectural Elements

1. Wood siding or Wood-Like Shingles.*
2. Low Gabled Roof with Overhanging Eaves.
3. Front Porch with Exposed Wood Beams.
4. Portrait Windows with Mullions.*
5. Wide, Tapered Porch Columns.
6. Stone or Brick Accents.*
7. Usually Single Story.
8. Simple Horizontal Lines.
9. Earth Tones with Strong Colored Accent Trim.
10. Stucco Painted in Lighter Tones.



Figure IV-3

Bungalow Architectural Style

iii. California Ranch

The California Ranch style originated in the mid-1930s by several California architects. It gained popularity during the 1940s to become the dominant style throughout the country during the decades of the 50s and 60s. Popularity of the “rambling” Ranch houses was made possible by the country’s increasing automobile dependence. In the decades following World War II, the automobile replaced streetcars and buses as the principle means of personal transportation and compact houses could be replaced by sprawling designs on much larger lots in outlying areas. Never before had it been possible to be so lavish with land. The rambling form of the ranch house emphasizes this with single story floor plans and maximizing the home width.

The essence of the ranch style shall be articulated with asymmetrical massing with single story edges. Materials are modest, with traditional detailing included for porch supports and window shutters. Roofs shall have deep to moderate eave overhangs. The ranch style is popular in California due to its ability to create a strong indoor-outdoor relationship.

Key Design Features of the California Ranch style are illustrated on Figure IV-5, *California Ranch Architectural Style*, and Figure IV-5, *California Ranch (HDR/HHDR Architecture)*, which typically include the following:

- 1) Exterior Materials
 - Primary material is wood/wood-like or brick cladding, sometimes in combination
 - Vertical board and batten or horizontal siding
 - Slump stone/stone veneer may be used as an accent material
 - Stucco may be used on the side and rear elevations
- 2) Roofs
 - Hip roofs are the most common
 - Crossed-gabled and side-gabled are also appropriate
 - Wide or moderate eave overhang, either boxed or open
 - Rafters may be exposed as in Craftsman houses
 - Flat concrete tiles resembling shakes are the suggested roof material
 - Premium grade shingle style composition roofs are also acceptable
- 3) Windows
 - Windows with mullions are often large, with an emphasis on the horizontal*
- Decorative exterior shutters reinforce window horizontality*
- Frequently, divided windows with break-ups and wood/wood-like trim are used
- 4) Design Features
 - Asymmetrical ordering is used
 - Modest traditional detailing, loosely based on Spanish or English Colonial*
 - Decorative iron or wooden/wood-like porch supports are common
 - Low horizontal emphasis with single story edge
 - The covered front porch is a major design statement, to reinforce outdoor living
 - Partially enclosed courtyards or patios, borrowed from Spanish house
- 5) Colors
 - Wood/wood-like is used in whites and variations of grays and beiges
 - Brick may be used as a counterpoint as a darker color

CALIFORNIA RANCH

Characteristic Design Features:

* Enhanced Architectural Elements

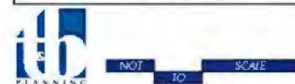
1. Vertical Board and Batten or Horizontal Siding.*
2. Stucco Used on Side and Rear Elevations.
3. Cross or Side Gabled Roofs .
4. Moderate to Wide Eave Overhangs.
5. Windows with Mullions.*
6. Modest Spanish or Colonial Detailing.*
7. Typically Single Story.
8. Front Porch.
9. Partially Enclosed Courtyard or Patio.
10. Decorative Window Shutters.*



Figure IV-4



Source(s): Bassenian Lagoni Architects (2023)



iv. Craftsman

The Craftsman movement became the most popular and fashionable style in the country at the turn of the last century. Several influences, including English Arts & Crafts Movement and Oriental wooden architecture, exemplified in the architecture of Greene & Greene and Julia Morgan, appear in the design of these detailed buildings. Often referred to as America's Arts and Crafts home, the popularity of the style peaked at the turn of the 20th century, when America was still looking for distinctly domestic architectural styles. While exhibiting craftsmanship, the style uses modest materials. The style is best presented in simple forms, often with low, broad proportions as seen in California Bungalows. The roofs forms are cross-gabled, side-gabled and hipped. There is usually a heavy feel in the structural forms and details.

With California's even and temperate climate, the idea of a home as a shelter from the elements is transformed into one that invites outdoor living with porches. The wide overhangs protect against the high sun angles. Interiors and exteriors flow easily from one to the other, reflecting the high regard for nature that is inherent in the Craftsman style.

The goal for this style is a lighter more current interpretation, based on today's construction technology and realities. Adherence to the characteristics of the Craftsman style can be maintained without exaggeration of the proportions or the excesses in the ornamentation.

Key Design Features of the Craftsman style are illustrated on Figure IV-6, *Craftsman Architectural Style*, and Figure IV-7, *Craftsman (HDR/HHDR Architecture)*, and shall include the following:

- 1) Exterior Materials
 - Primary materials are wood/wood-like siding, wood/wood-like shingles, and stucco
 - River rock or brick are also used for accent areas such as chimneys and column bases
 - Exposed wood/wood-like beams stained or painted in natural colors
 - Brick is also used as a counterpoint as a darker color
- 2) Roofs
 - Low rooflines with broad eaves and horizontal emphasis (i.e., low-pitched, gabled, or hipped)
 - Roofs often carried forward from the residence to define a covered front porch
 - Exposed wood/wood-like beams, knee braces or other indications of structural support
 - Flat concrete tiles resembling shakes are the suggested roof material. Premium grade shingle style composition roofs are also acceptable
- 3) Windows
 - Primarily vertical in proportion, although some horizontal windows appear under second-story rooflines
 - Frequently, divided windows with mullions and break-ups and wood/wood-like trim are used
- 4) Design Features
 - Low horizontal emphasis with single story edges
 - The covered front porch is a major design statement, to reinforce outdoor living
 - Natural materials are expressed, especially wood/wood-like stains and colors
 - Porch columns are often wide, tapered, and support a wooden post
 - The emphasis on clean, simple, and direct forms for both elevations and floor plans
 - Dormers are used to increase usable space and create window openings in a roof plane

5) Colors

- Wood/wood-like is often in earth tones and stains
- Stucco is usually found in lighter tones, as a counterpoint to the darker earth tone accents
- Some used of gray, off-whites, beiges, greens
- Trim pieces can be stronger in color. Less frequently seen but still appropriate are white trims.
- Front doors often left in natural wood color

CRAFTSMAN

Characteristic Design Features:

* Enhanced Architectural Elements

1. Wood-Like Siding and Shingles, and Stucco.*
2. Flat Gables with Broad Eaves.
3. Portrait Windows with Mullions.*
4. Covered Front Porch.
5. Gable End Details.*
6. Flat Concrete Roof Tiles.*
7. Single Story Elements.
8. Natural Materials with Earth Tones Emphasized.
9. Strong Colored Trim.
10. Exposed Wood-Like Beams.



Figure IV-6



Source(s): Bassenian Lagoni Architects (2023)

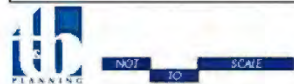


Figure IV-7

Craftsman (HDR/HHDR Architecture)

a. Transitional Spanish

Inspired by architecture from the coastal regions of Spain where intense sunlight bathes everything, the Spanish style emerged as a response to a wonderful climate. Transitional Spanish reinterprets the style in a fresh way with modern materials and simplified forms and massing. Sculpted stucco massing in new, more angular shapes combines with woods to create the classic blend of light and dark elements to define the forms. Windows follow a geometric pattern and can be grouped around a corner to carry the style to all four sides. Other defining characteristics include a simple or parabolic arch at a window or entry, courtyards and minimal use of accent materials that are purely decorative. Key Design Features of the Transitional Spanish style are illustrated on Figure IV-8, *Transitional Spanish Architectural Style* and, Figure IV-9, *Transitional Spanish (HDR/HHDR Architecture)*, and typically includes the following features:

- | | |
|--|--|
| 1) Exterior Materials | 4) Design Features |
| • Smooth stucco | • Single barrel roof tiles |
| • Wood or metal balconies and rails | • Decorative tiles |
| • Wood slats or siding | • Decorative railings |
| • Terra cotta or natural clay roof tiles | • Stucco or tile decorative vents |
| 2) Roofs | • Arcaded wing walls |
| • Shallow pitched roofs | • Towers |
| • Hipped roofs | • Elaborate chimney top |
| • Combined hipped and gables roofs | • Heavy exposed beams |
| • Side-gabled roofs | • Wood or metal balconies and rails |
| • Cross- gabled roofs | • Open trellis above balconies |
| • Flat roofs with parapet walls | • Simplified geometric entry surrounds |
| 3) Windows | • Simplified arched openings |
| • Deep set (8' minimum) windows on front elevation | 5) Colors |
| • Rectangular windows and/or window groupings | • White |
| • Decorative Pot shelves beneath windows | • Earth tones |
| | • Terra cotta red roof tiles |
| | • Brown or beige window frames |
| | • Dark brown accents |

TRANSITIONAL SPANISH

Characteristic Design Features:

* Enhanced Architectural Elements

1. Smooth Stucco with Wood Siding.*
2. Wood or Metal Balcony and Rails.*
3. Shallow Pitched Roof with Clay Roof Tiles.
4. Simple, Hip, Gable, and Shed Roof Forms.
5. Deep Set Windows on Front Elevation.
6. Decorative Pot Shelves Beneath Windows.*
7. Simple Arched Openings.
8. Exposed Beams/Open Trellis Above Balcony.
9. Simple Geometric Entry.
10. White to Earth Tones with Dark Brown Accents.



Figure IV-8



Source(s): Bassenian Lagoni Architects (2023)



2A. RESIDENTIAL ARCHITECTURAL DESIGN GUIDELINES

The architectural design guidelines express “intent” rather than “absolutes,” thus allowing a certain degree of design flexibility to foster creativity and innovation. The images provided herein serve as visual aids in understanding the basic intent of the guidelines. They are not meant to depict actual neighborhood, lot, or building design.

Specifically, these Design Guidelines are intended to:

- Provide clear direction to decision makers regarding the theming and intent of the Specific Plan, thus reducing the possibility of confusing interpretation and subjective decisions related to the Specific Plan’s implementation.
- Provide development guidelines which permit the RIO VISTA Specific Plan to cultivate a distinctive community identity while allowing it to respond to the character and design fabric of the neighboring communities in the City of Jurupa Valley.
- Address residential product design, landscape design, and community elements such as trails, walls, fencing, and parks.
- Address the design of Light Industrial and Business Park land uses such as landscaping, building form, building massing, building materials, windows, walls, fencing, and lighting.
- Establish a consistent design expression among site planning, architectural and landscape architectural components, while allowing reasonable flexibility in design and implementation approach.
- Reinforce the community’s intended thematic concept with historic architectural styles and appropriate landscaping.
- Establish a strong sense of community with shared community spaces, trail systems, monumentation, and quality architectural design.
- Provide project continuity and compatibility with surrounding uses through site planning, building design, street design, landscaping and other design features that will endure for the life of the community.
- Provide a framework for the formation of Covenants, Conditions, and Restrictions (CC&Rs).
- Provide for a range of housing products that are responsive to local needs and market demands.

The Design Guidelines provided in this section of the Specific Plan may be subject to modification over time to allow for response to evolving development conditions, such as changes in housing trends, community desires, and the marketplace.

Although a great deal of specific design information is provided in these Guidelines, there will at times be a need for interpretation of the intent of the Guidelines in keeping with the spirit of the RIO VISTA design theme. The Guidelines help facilitate creating unified design concept while providing the opportunities for creativity, diversity and visual interest that define the successful residential communities in the City of Jurupa Valley.

These guidelines are comprised of elements that define the design concept, physical character, and theme of RIO VISTA. The principal components of this section are Architectural Design Guidelines and Landscaping Design Guidelines.

The Architectural Design Guidelines articulate the characteristics of the built environment. Elements such as architectural theme, building massing and scale, materials and colors, and site planning guidelines combine to form a distinctive identity that defines RIO VISTA. The Architectural Design Guidelines provide assurance that the homes and Light Industrial/Business Park buildings constructed in RIO VISTA will be of high quality and create interesting community street scenes.

a. Residential Architectural Elements

- 1) **Building Mass and Scale:** Variety in building forms provides diversity and visual interest to the neighborhood street scene. The following should be incorporated into the design of residential structures:
 - 1) Articulation of wall planes
 - 2) Simple bold forms
- 2) **Building Materials and Colors:** The design of residences should use building materials and colors that are consistent with the architectural styles as identified on the architectural checklist for each style. A summary of the acceptable exterior surface, masonry surface, and siding surface materials are described below.
 - 1) Masonry elements should be integral to the building's architecture.—Masonry columns, when used, should wrap the column in its entirety.
 - 2) Masonry columns at garage corners should have a return dimension equal to or greater than the width of the material on the garage plane elevation.
 - 3) All other masonry returns should end at a logical termination point related to rooflines or building massing, where feasible.—Otherwise returns should be a minimum of 3'.
 - 4) If siding is used, it should be used consistent with the architectural style of the residence and should be accented by natural materials.—The most common form of siding is a cement-based product that resembles various traditional siding patterns.
 - 5) Materials and colors should be consistent with the chosen architectural style and compatible with the character of surrounding development.
 - 6) Provide a variety in texture and color to allow for diversified expressions of individuality on building elevations, while maintaining visual cohesiveness throughout the community.
- 3) **Roof Materials, Forms, and Styles:** Roof materials may include barrel shaped clay or concrete tiles, flat clay, or concrete tiles, concrete shake, slate and dimensional/premium fiberglass asphalt shingles. Additionally, the following requirements apply to roof materials used in residential structures:
 - 1) Roof materials should be compatible with the architectural style of the residence as described in this Specific Plan and shown on Figure IV-1 through Figure IV-9 with respect to each style.
 - 2) Roof materials should have a matte finish to minimize glare.

- 3) Standing seam metal roofs are permitted as an architectural accent element, but its use is subject to the sole discretion and approval of the Master Developer.
- 4) Facias may be either stucco, wood/wood-like, or tile. If wood/wood-like is used, it should be stained or painted. Clay or concrete barrel tiles, clay or concrete flat tiles, clay or concrete shake slate or dimensional/premium fiberglass asphalt shingles should be used. Low profile S-tiles are allowed on single-family lots on a maximum of 50% of the elevations. Wood shake, and metal rolled roofing material are prohibited.

Similarly, a variety of roof forms and styles is encouraged throughout the neighborhoods of RIO VISTA, as described below:

- Roof treatments should be consistent with the architectural style of the dwelling.
 - Variety of roof design and treatment is encouraged to provide visual interest to the neighborhood roofscape throughout RIO VISTA, including the use of gable, cross-gable, hip, or a combination of these roof forms.
 - Exposed side elevations are encouraged to have architectural treatment.
 - Broken roof pitches extending over porches, patios or other similar features are encouraged where appropriate to the architectural style.
- 4) **Windows and Doors:** Windows and doors are important architectural features that complement and reinforce the selected architectural style. In addition to the criteria identified below in Section 4 pertaining to each respective architectural style, the following requirements should adhere to regarding the use of windows and doors in residential structures:
- 1) Recessed door and wall openings on front façade are encouraged.
 - 2) Depending on the architectural style, protrusions such as window boxes may be implemented.
 - 3) Divided window lights are suggested where architecturally appropriate to give interest.

b. Residential Architectural Design Features

All architectural features and accents for detached homes within RIO VISTA should be consistent with the building's chosen architectural style, as described in Section 3, Residential Architectural Style, Key Design Features.

Residential Planning Areas should provide:

- A minimum of three different elevations and three different color schemes to encourage diversity and variation within neighborhoods. Streets should vary in their architectural character to create a sense of individual ownership and personality. When unified by landscape elements, this variety results in quality neighborhoods.
- No plan should be plotted side by side or directly across from each other with the same elevation. Additionally, no more than two plans can be plotted adjacent with different elevations.
- Plot buildings to emphasize diversity and scale along the street and avoid visual monotony. Vary setbacks by using different plan forms and elevations on adjacent buildings,

incorporating single-story elements, and utilizing different garage placements. Vary home types to increase diversity and promote a pedestrian-oriented street scene. Consider plotting single-story homes on corner lots.

- Sufficient color schemes should be provided within the neighborhood to make sure that no home of the same plan and elevation on a single street should be the same.

i. Detached Residential (Single-Family Homes)

- 1) **Porches:** Porches of entryways should be a design feature of the front façade. Porches help break up the massing of buildings. Front porches, or those on perimeter edges, should be proportional to home, have railings, and be fully covered in one of the following ways:
 - Roof element and material matching the residence.
 - Trellis structure
- 2) **Patios, Balconies, and California Rooms:** The use of fully covered rear patios, screened-in patios, California Rooms, patio covers, and second story balconies are optional but are encouraged as they provide an excellent opportunity for the articulation of rear facades, particularly along visible perimeter conditions. — Patio and balcony elements should be designed as an integral component of the architecture. Columns used in conjunction with the patio covers and balconies should convey a sense of strength and support. — Patios and balconies should conform to the residential lot's setback criteria as these elements are considered part of the building envelope.
 - Second story balconies are encouraged to provide further visual interest to the street scene, and enhance the effect of the front setback of the second story.
- 3) **Trellises and Arbors:** Trellises and arbors, when used, should be designed to maintain their appearance considering the climatic conditions of the area.
- 4) **Chimneys:** Chimneys design should be compatible with the architecture of the building. Each architectural style should have a different top cap treatment. The following features are appropriate:
 - Tile caps, brick or tile banding
 - Elaborated chimney tops
 - Decorative metal caps that match trim colors
- 5) **Exterior Lighting :** Energy conservation, safety and security should be emphasized when designing any lighting system. The style of exterior lighting fixtures should also be consistent with the architectural style of the residence.
- 6) **Gutters, Downspouts, Utility Meters & Mechanical Equipment:** The location of gutters and downspouts should be considered during the design process so that the result is a cohesive pleasing building façade. Utility meters should be placed on the side elevations in inconspicuous locations painted to match the color of the adjacent wall surface and be screened with landscaping where possible.
- 7) **Garages and Driveways:** Garages massing and visual impacts should be minimized.
 - Corner lots may not have a driveway on the side lot line and the garage must be setback from the corner.

- Recessed garages on zero-lot line communities are encouraged when design allows.

ii. Attached Residential

All architectural features and accents for attached homes within RIO VISTA should be consistent with the building's chosen architectural style. The following criteria should be incorporated into the design of attached residential structures within the community:

- 1) **Courtyards:** Courtyards are encouraged on all attached residential products where appropriate to the style, when used, should appear as an extension of the architecture of the main building.
- 2) **Balconies:** Covered or trellised balconies are preferred. Furthermore, balconies should comply with the following design recommendations:
 - Balconies may have solid or open rails.
 - Balconies are considered part of the building envelope
- 3) **External Equipment**
 - Ground-mounted air conditioning units should have increased vegetation to help shield units.
 - Natural gas meters should be grouped. Builders should contact the gas company for minimum clearances. Meter locations are subject to utility company requirements.
 - Electrical meters should be ganged and located behind doors. Screen walls and electrical enclosures should be designed integral to the project's architecture.
 - All antenna and satellite dishes visible from any public or private street, sidewalk, open space or adjacent lot should be submitted for review and are subject to the CC&Rs and all federal regulations.
 - Solar panels, when used, should be mounted directly to a sloped roof plane and be integral to the roof design.
 - Non-camouflaged solar panel equipment should be located behind parapet walls of equal height to the equipment.
- 4) **Community Facilities and Related Accessory Structures:** Community structures for the multi-family units should be consistent with the architectural styles provided in the Specific Plan.

2B. RESIDENTIAL LANDSCAPE DESIGN GUIDELINES

The Landscaping Design Guidelines are comprised of the key community components such as monumentation, streetscapes, interfaces between land uses, community walls and fences, parks, and trails. The Plant Palette provides a specific list of plants that are compatible with the community design theme and the surrounding environment. The plant list is organized by community elements and by streetscape themes.

The Landscaping Design Guidelines address the following project design goals:

- Establishment of a strong, rich “Scenic Southern California” landscape theme with thoughtfully landscaped common areas that incorporate local rock and stone/veneer, boulder outcrops, clusters and groves of trees, wood/wood-like materials, and earth tone colors.
- Incorporation of recreational amenities which are identifiable and properly serve the needs of the community.
- Emphasis on pedestrian and non-motorized circulation throughout the community.
- Consideration of water-efficiency and long-term maintenance efficiency in the selection of planting materials and placement.
- Development of a strong “sense of community” through landscape design elements and informal and formal community gathering areas.
- Ensure that plant materials, entries and monuments, streetscapes and other thematic elements are compatible with the overall design theme and that all implementing development projects are united under a common design vocabulary.

Figure IV-10, *Landscape Master Plan*, identifies the location of major landscape components of RIO VISTA, such as monumentation, streetscapes, landscape interfaces, and park and recreational amenities.

Although a great deal of specific design information is presented herein, these Guidelines are not intended to establish a set of rigid landscaping requirements for the RIO VISTA. It is recognized that at times, there will be a need to adapt these Guidelines to meet certain parcel-specific or user-identity requirements. As such, these Landscape Guidelines are intended to be flexible, and are subject to modification over time. However, it is critical to RIO VISTA’s long-term design integrity that any deviations from these Landscape Guidelines are in keeping with the spirit of the core elements of the overall theme described herein to ensure a cohesive and unified landscape concept across RIO VISTA.

1. GENERAL LANDSCAPE GUIDELINES

a. Landscape Maintenance Responsibility

Maintenance responsibility of streetscape landscape rights-of-way may be provided by the City of Jurupa Valley, Jurupa Area Recreation and Park District, or the Master’s Homeowner’s Association. Maintenance of common areas, parks, greenbelts, and other community common open space is provided by either the Jurupa Area Recreation and Park District or the Master Homeowner’s Association. Trailhead signage and monumentation is provided by Jurupa Area Recreation and Park District. The school site landscaping is maintained by the Jurupa Valley Unified School District

(JUSD). Individual homeowners are responsible for the maintenance of public street landscape frontage or side street frontage of their property, unless otherwise identified within their legal ownership documents. Homeowners are also responsible for all maintenance within their private lot area as well as fence and wall face on their internal boundaries. The Master Homeowner's Association is responsible for the multi-family unit common areas and the clustered single-family detached front yards.

b. Irrigation and Water Conservation

Proper consideration of irrigation system design and installation in the climate extremes of the RIO VISTA area is critical to the success of the landscape investment. In particular, the combined summer elements of heat and wind should be carefully considered in proper irrigation design and equipment selection. All landscaped areas are irrigated with a permanent underground irrigation system, except for slopes, which may have a permanent above-ground irrigation system which comply with City of Jurupa Valley Ordinance Chapter 9.283, *Water Efficient Landscape Design Requirements*, and the Guide to California Friendly plants. Irrigation systems which adjoin a separate maintenance responsibility area are designed in a manner to ensure complete water coverage between the areas. Terrace drains are placed per the latest California Building Code Standards for slopes 3:1 or greater, or when the height of the slope is greater than 30'-0".

c. Residential Frontage Lot Landscape Requirements

Street trees with a minimum 36-inch box size shall be planted in the parkway within the right-of-way, with one tree per residential lot frontage. A minimum of two 15-gallon street trees should also be planted in the right-of-way on residential street corners. Street trees planted within the right-of-way will be approximately forty feet (40') on center. Tree varieties are chosen from the RIO VISTA Plant Palette contained herein. Trees should be clustered near property lines to maximize their buffering effect and street scene impact. One species of tree should be used for each residential street to maximize visual neighborhood identity. Deciduous or flowering evergreen accent trees which contrast with the selected street trees are encouraged at cul-de-sacs, knuckles, and intersections to provide visual interest.

d. Residential Style Front Yard Requirements

A maximum of fifty percent of the front yard, excluding driveways and sidewalks may be seeded. A minimum of ten 5-gallon shrubs, twenty 1-gallon shrubs and an automatic irrigation system should be installed by the homeowner for each residential lot. Shrubs and irrigation should be installed up to a logical stopping point from the curb face to the front of house and side yards. Side yard slopes over 3:1 surface gradient and three feet in height should be planted with groundcover. Low slopes may be graded out to a less than 3:1 surface gradient and planted with drought tolerant shrubs. A minimum of one (1) 15-gallon size tree should be planted in the front yard of each residential lot in addition to the required street tree. These trees may match the street trees planted in the right-of-way and be located in proximity to said street trees in order to create a more harmonious effect. The trees may also contrast with the street tree and form backdrop tree clusters. Street trees shall be a minimum size of 36-inch box, with a minimum of one tree per residential lot frontage. Corner lots shall accommodate two additional minimum sized 24-inch box trees, not counting street trees, pursuant to the Jurupa Valley Code of Ordinances, *Chapter 9.283, Water Efficient Landscape Design Requirements*. Front Yards shall be in accordance with City of Jurupa Valley Standards for Landscape Development and City Ordinance 2015-17 (*Water Efficient Landscape for Design requirements, submittal and inspection requirements*). Overall, the front yard scheme should create a street scene

appearance of tree clusters meandering through the project and across streets. The typical landscaping for residential front yards is illustrated on Figure IV-11, *Residential Front Yard Typical*.

2. ENTRY MONUMENTATION

Entries within RIO VISTA reinforce the “Scenic Southern California” community identity by using natural elements and landscaping climatized to the region. Moreover, these entries act as strong landmarks and provide a sense of orientation within the larger RIO VISTA community. RIO VISTA is generally bordered by Highway 60, Armstrong Road, and Market Street; therefore, careful consideration has been given to the placement and design of entry monumentation. Figure IV-11, *Landscape Master Plan*, shows the location of the two types of entry monuments within RIO VISTA, which are described below. All monumentation locations illustrated in this Specific Plan are conceptual; final monument locations will be determined during implementing projects.

a. Major Entry Monumentation

Located near the eastern and western entrances to the RIO VISTA community along 20th Street, the Major Entry Monumentation creates a strong sense of arrival and identity for the RIO VISTA community. As shown on Figure IV-12, *Major Entry Monumentation*, Major Entry Monuments consist of three segments of masonry walls. The taller middle segment is inscribed with the community’s name in steel letters, flanked on either side by shorter wall segments. Stone veneered pilasters are located at the ends of each wall segment, with larger and taller pilasters demarcating the transition from the center to the side wall segments, and shorter pilasters at the ends of the entry monument providing a transition to a Wood Rail Theme Fence adjacent to 20th Street. A specimen tree, flanked by two (2) 36-inch box trees of the species are located behind the wall to provide a striking focal point and shade for pedestrians waiting at the intersection. The entry wall is softened by landscaping that includes deciduous and evergreen trees, flowering shrubs, groundcovers, native grasses and landscape boulders.

b. Minor Entry Monumentation

Minor Entry Monumentation within RIO VISTA is located at the primary access points into residential neighborhoods from 20th Street. These monuments identify the residential enclaves, while providing continuity and connection to the larger community theme. Minor Entry Monuments, as shown in Figure IV-13, *Minor Entry Monumentation*, consist of a single segment of masonry wall flanked by a stone veneered pilaster and softened by landscaping, which includes deciduous and evergreen trees, flowering shrubs, ground covers, and native grasses, to match the Major Entry Monumentation. Minor entry trees shall be a minimum size of 4-inch caliper trunk and ten (10) feet in height.

Upon the larger of the two pilasters is a raised metal letter “R” signifying the RIO VISTA community. A tree is provided behind the wall to provide a visual amenity as well as shade for pedestrians waiting at the intersection. The entry wall is softened by landscaping that includes deciduous and evergreen trees, flowering shrubs, groundcovers, native grasses and landscape boulders.

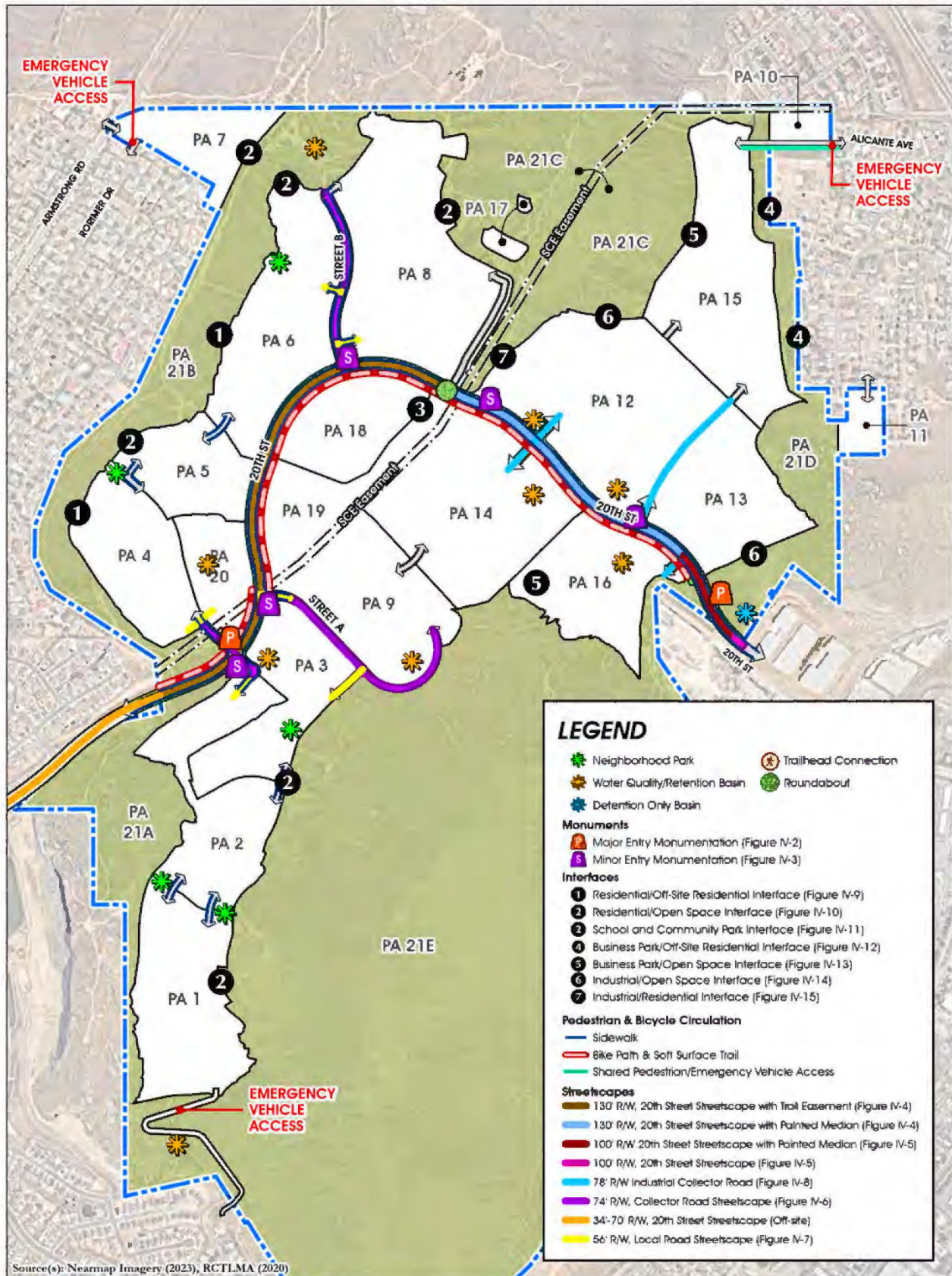
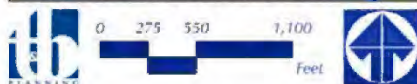


Figure IV-10





NOTE:
FRONT YARD PLANTING TO COMPLY WITH
CITY OF JURUPA VALLEY ORDINANCE 2015-17,
CHAPTER 9.283. WATER EFFICIENT LANDSCAPE
DESIGN REQUIREMENTS.

Source(s): David Nault and Associates (10-01-2021)

Note: Invasive plants are prohibited in order to protect the appropriate plant species within and surrounding the Rio Vista community from harmful non-native species and from fire hazards.



Figure IV-11

Residential Front Yard Typical



Source(s): David Neault and Associates (10-01-2021)



Figure IV-12

Major Entry Monumentation



Source(s): David Neault Associates (09-21-2015)

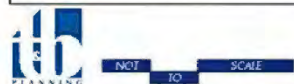


Figure IV-13

Minor Entry Monumentation

3. STREETScape LANDSCAPING

Roadways within RIO VISTA form a hierarchy in their arrangement, clearly guiding residents and visitors through the community and between the residential, school, and recreational land uses. Streetscape landscaping within RIO VISTA reinforces the hierarchy of streets and carries the thematic elements throughout the community. All streetscape landscaping shall be in accordance with Municipal Code Section 9.283, *Water Efficient Landscape Design Requirements*. Additionally, manufactured slopes shall be landscaped with low-water use plant species. Details regarding specific streetscapes provided within RIO VISTA are discussed below.

a. 20th Street Streetscape with Soft Surface Trail & Bike Path

20th Street is the major backbone road in RIO VISTA and plays an important role in carrying the thematic elements throughout the community. As depicted in Figure IV-14, *20th Street Streetscape with Soft Surface Trail & Bike Path*, this portion of 20th Street provides a 130' wide right-of-way that includes a 64' wide paved roadway with a 12' wide landscaped median west of the Roundabout and a painted median east of the Roundabout. This portion of 20th Street includes landscaped parkways and a 5' meandering sidewalk on both sides of the street. The sidewalks are separated from the curb by a recessed bio-swale, with boulders, native grasses, and groupings of deciduous and evergreen trees. Additionally, this portion of 20th Street includes a 48' wide parkway containing a 10' wide Class I Bikeway and an 10' wide D.G. soft surface trail. Additional landscaped areas are provided on either side of the 48' wide enhanced parkway.

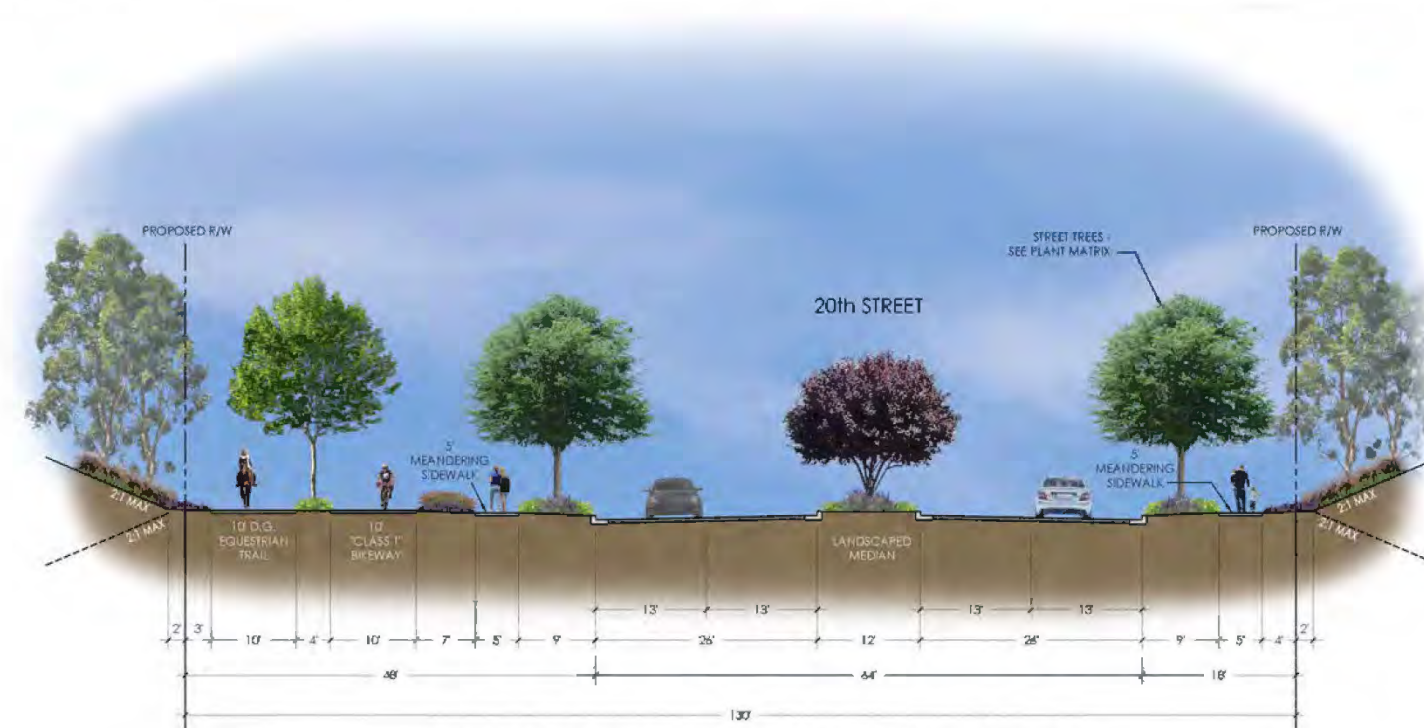
This 20th Street Soft Surface Trail & Bike Path exists in two locations: (1) within the south side of 20th Street between the approximate eastern boundary of PA 13 and the western intersection of 20th Street and the SCE easement, and (2) within the north side of 20th Street between the western SCE crossing and the western boundary of the Specific Plan Area.

b. 20th Street Streetscape (Roundabout to PA 16)

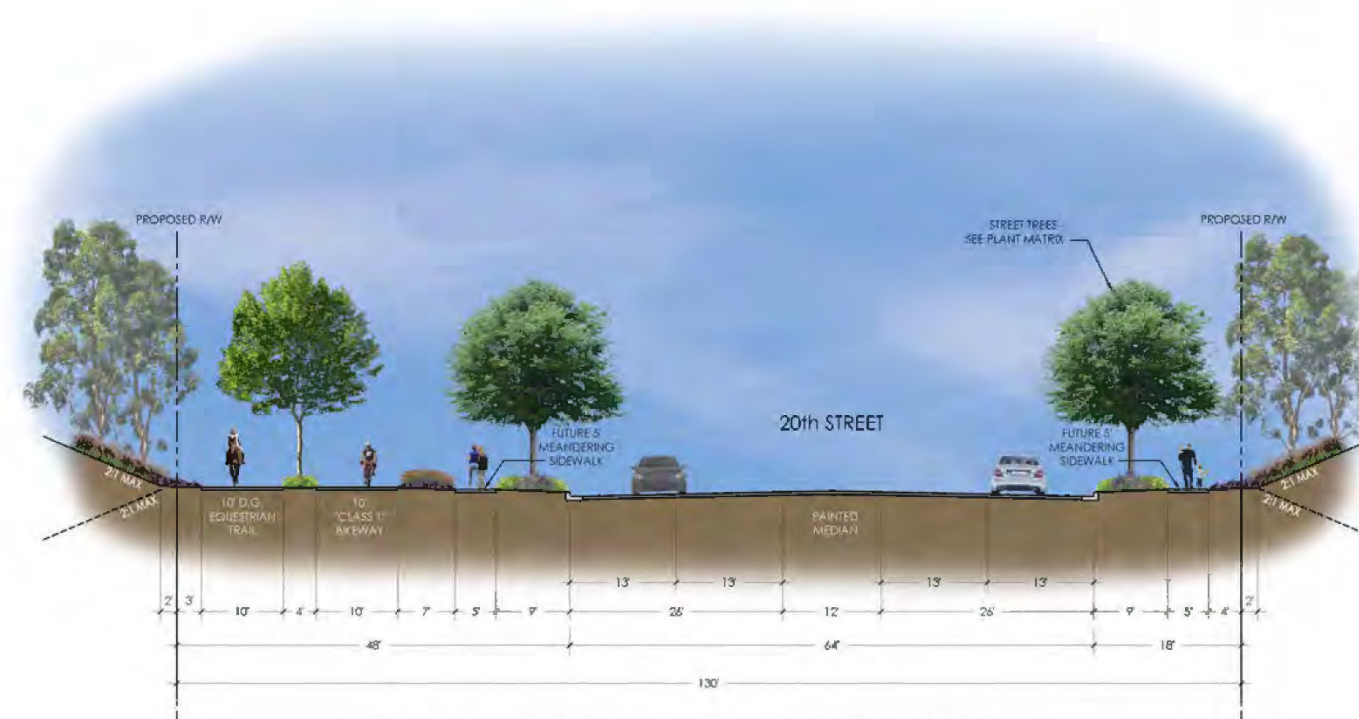
Figure IV-15, *20th Street Streetscape*, depicts the portion of 20th Street located between PA 16 and the eastern boundary of the Specific Plan. This segment of 20th Street includes a 64' wide paved roadway, 12' wide landscaped median from PA 16 to the eastern boundary and a painted median at the eastern boundary. This segment also includes a landscaped parkways and a 5' meandering sidewalk on both sides of the street. Separating the sidewalks from the curb is a recessed bioswale, with boulders, native grasses, scrubs, and groupings of deciduous and evergreen trees.

c. Collector Roads

The RIO VISTA Specific Plan provides for landscaped 74' ROW Collector Roads (i.e. Street B), which serve as a transition between the local roads and Circulation Element 20th Street. As shown on Figure IV-16, *Collector Road Streetscape*, Collector Roads contain a 44' wide paved roadway, with 7' wide curb-adjacent landscaped parkways, 5' wide sidewalks, and an additional 3' wide parkway at the outside of the right of way, on both sides of the street. Parkway are planted with Collector Road trees and plants in accordance with Table IV-1, *Plant Palette*.

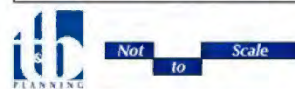


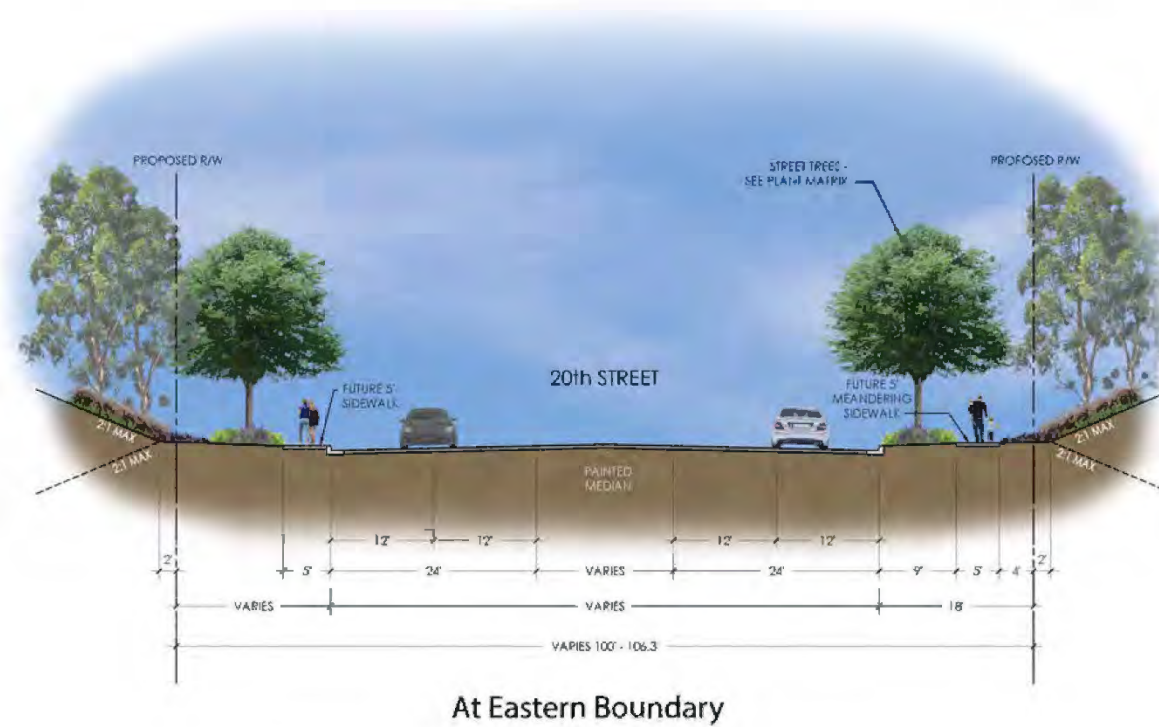
Western Specific Plan boundary to Roundabout



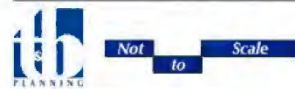
Roundabout to Planning Area 16 Industrial Collector

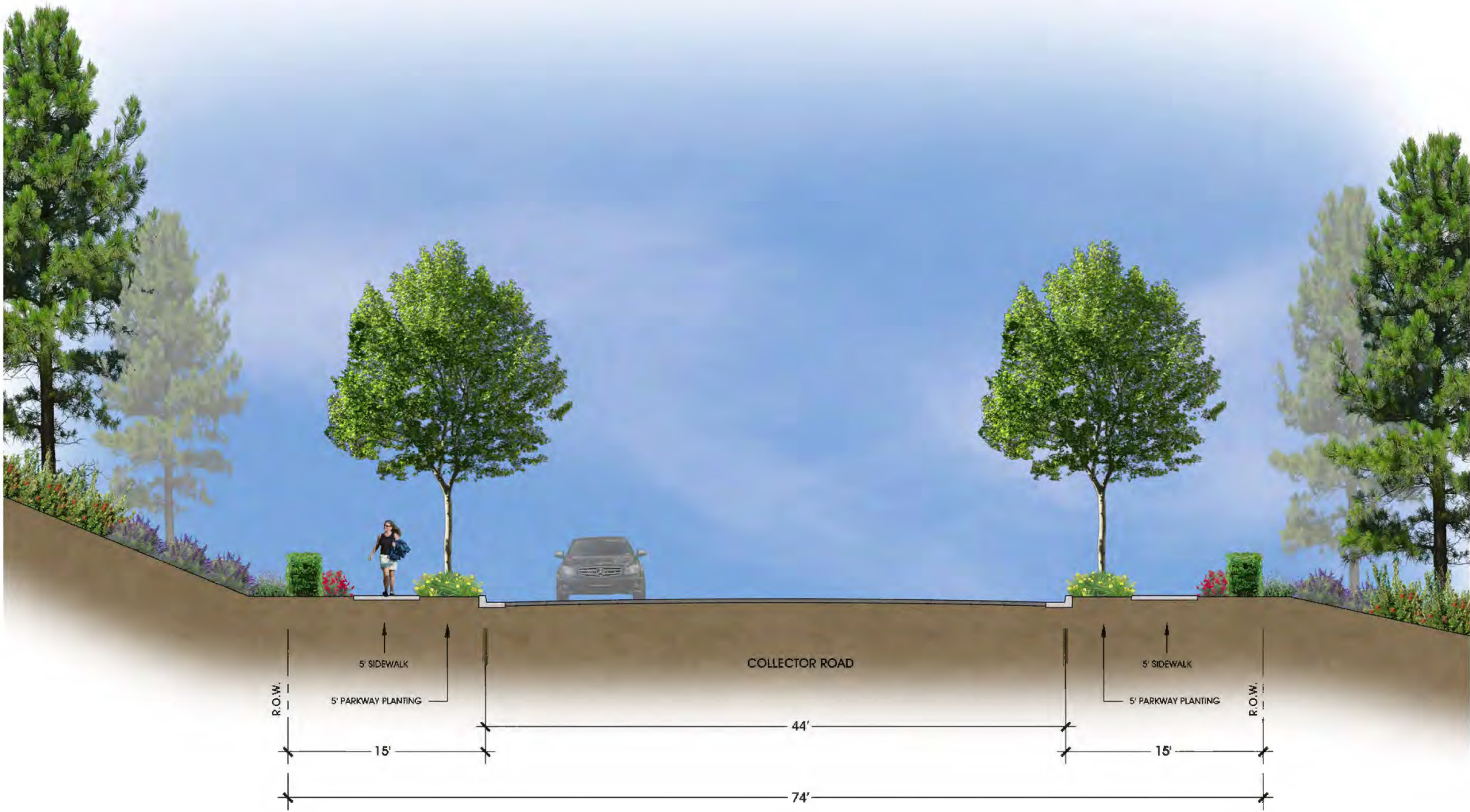
Source(s): David Neault Associates (06-19-2023)





Source(s): David Neault Associates (06-19-2023)





Source(s): David Noland Associates (09-21-2015)



Figure IV-16

Collector Road Streetscape

d. Local Roads

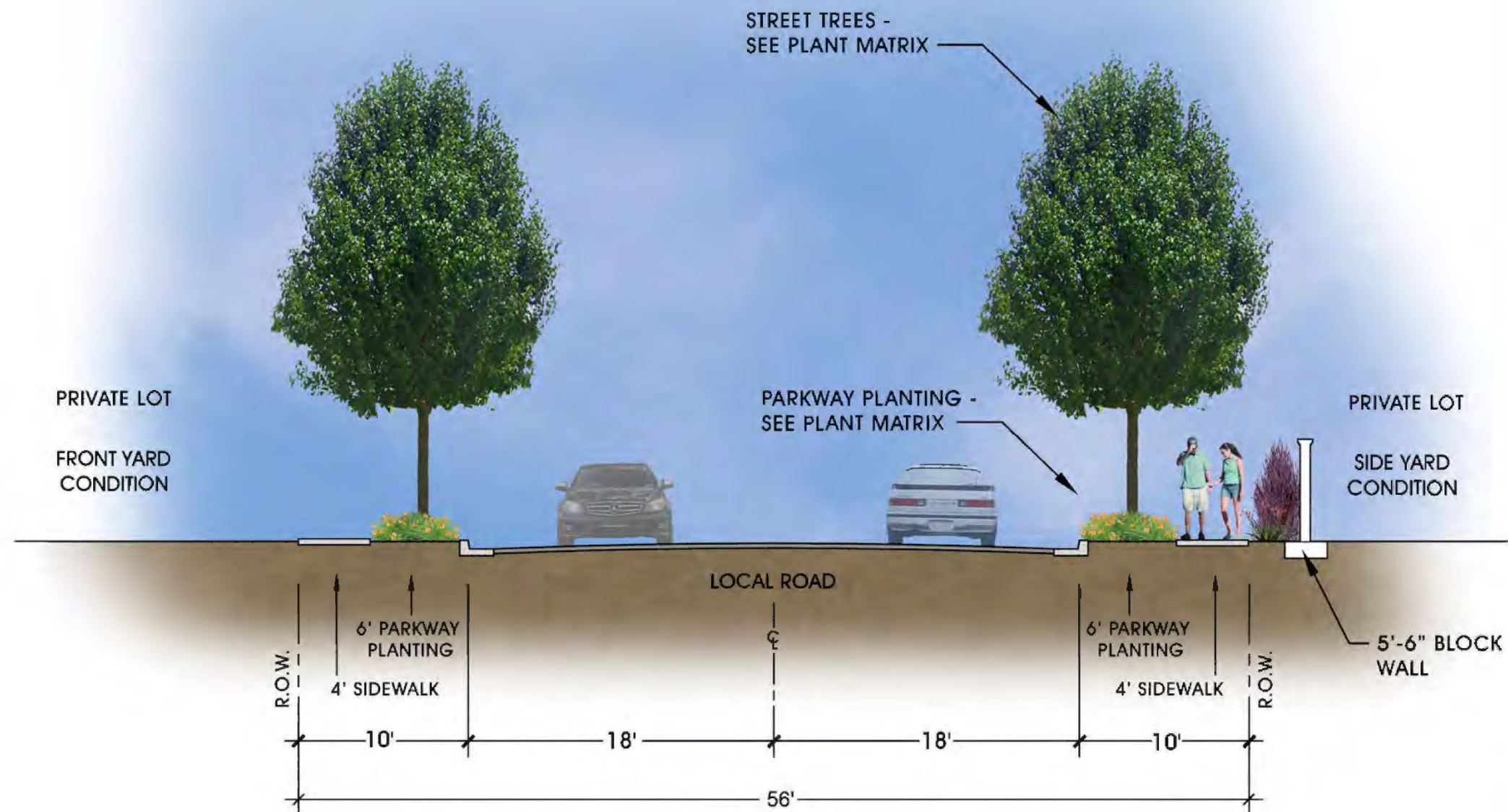
Local roads provide vehicular and pedestrian circulation to and within RIO VISTA's individual neighborhoods. As shown on Figure IV-17, *Local Road Streetscape*, Local Roads may either be 56' ROW or 59' ROW. The 56-foot ROW consist of 36 feet curb-to-curb with 5-foot-wide curb-separated sidewalks and 5 feet of curb-adjacent landscaping on both sides of the street, which allows for parking on one side of the street. The 59-foot ROW consist of 39 feet curb-to-curb with 5-foot-wide curb-separated sidewalks and 5 feet of curb-adjacent landscaping on both sides of the street, which allows for parking on both sides of the street. The right-of-way widths internal to PAs will be determined during the implementation of projects. Parkways are planted with Local Road trees and plants in accordance with Table IV-1, *Plant Palette*.

e. Industrial Collector Road Streetscape

Industrial Collector Roads provide vehicular and pedestrian circulation to RIO VISTA's Light Industrial and Business Park land uses within PAs 12, 13, and 15. As shown on Figure IV-18, *Industrial Collector Road Streetscape*, the Industrial Collector Road consist of a 78' wide ROW that includes a 48' wide paved roadway and 12' painted median, with 6' wide curb-adjacent landscaped parkways and 5' wide sidewalks, on either side of the street. Parkways are planted with street trees and plants in accordance with Table IV-1, *Plant Palette*.

f. Roundabout Streetscape

Heavy commercial truck traffic is prohibited from entering and exiting the western segment of 20th Street. A roundabout, along with signage and other circulation design features and measures, may be provided within 20th Street to discourage heavy commercial truck traffic from exiting Rio Vista to the west, and within Street A to discourage heavy commercial truck traffic from accessing PA 3. A conceptual roundabout location is illustrated on Figure IV-19, *Conceptual Roundabout Streetscape*. The final details, design, and location of the roundabout will be determined during the design of implementing project(s). The roundabout will be located on the western side of the SCE Easement along 20th Street, fronting PAs 8 and 19. In addition to the roundabout, additional design features and signage to be determined with implementing project (s) is encouraged to be provided along 20th Street to prohibit heavy commercial truck traffic from exiting Rio Vista to the west, and from accessing PA 3.

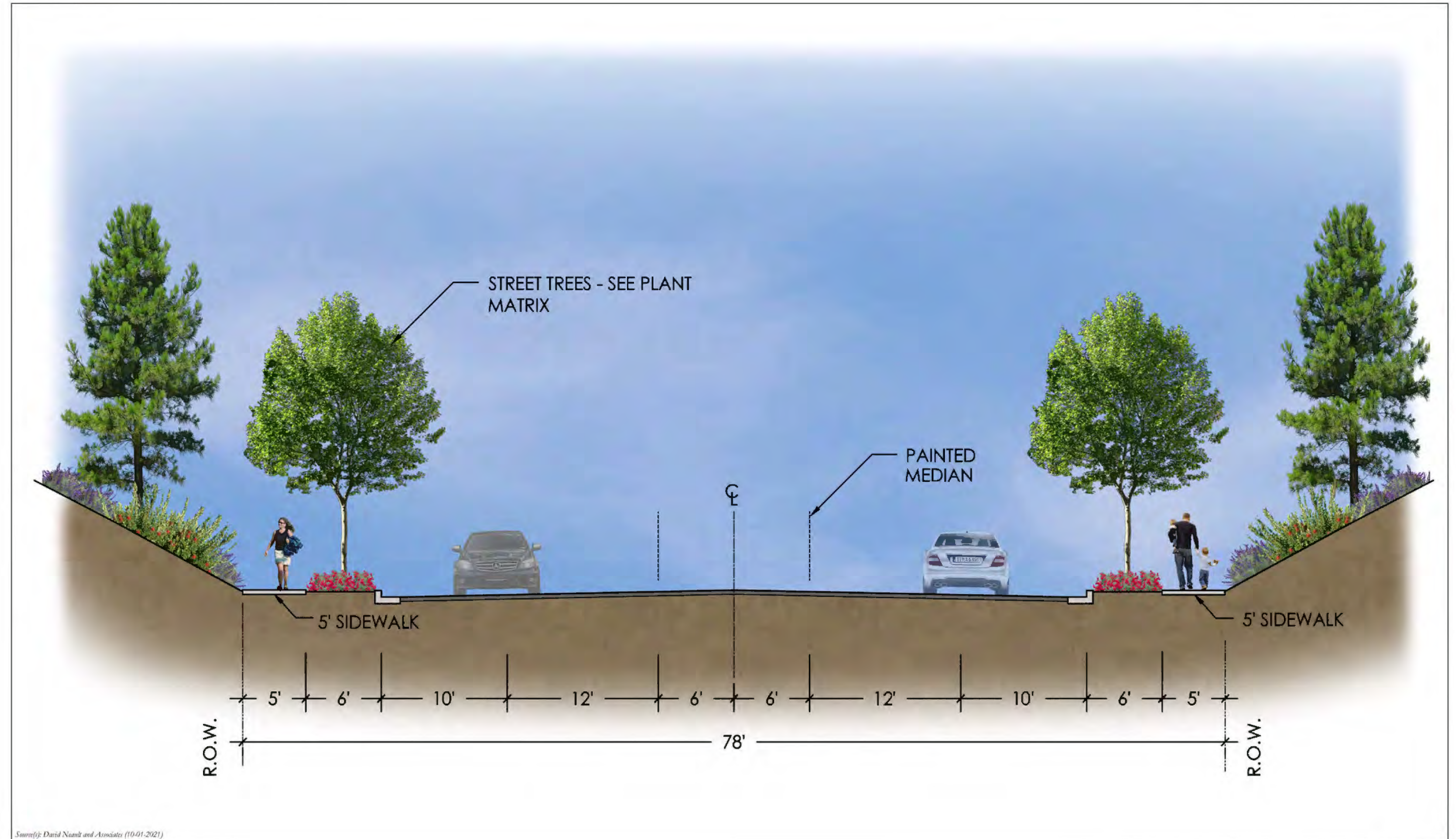


Source(s): David Nault and Associates (10-01-2021)



Figure IV-17

Local Road Streetscape



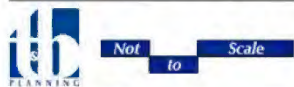
Source(s): David Nantz and Associates (10-01-2021)

Figure IV-18

Industrial Collector Road Streetscape



Source(s): David Nault and Associates (01-13-2023)



3. LANDSCAPE INTERFACES

RIO VISTA contains seven (7) distinct landscape interfaces, or edge treatments, which provide a visually interesting and practical buffer along the border of adjacent land uses. Each of these interfaces are discussed in detail below.

a. Residential/Off-Site Residential Interface

The elevated residential lots along the westerly portion of the community enjoy scenic views of the surrounding valleys and hillsides. These “view” lots are adjacent to steep, downward slopes that abut existing, off-site residential uses. The view lots will be approximately 75 feet above the neighboring communities, creating a significant buffer between Rio Vista and the existing homes.

As shown on Figure IV-20, *Residential/Off-Site Residential Interface*, a Tubular Steel Fence runs along the rear property line of the “view” lots to maximize the view potential from these homes. This Residential/Off-Site Residential interface consists of two different conditions: 1) view lots abutting manufactured slopes and 2) view lots abutting natural open space. In the first condition, the majority of the slope area is preserved in its natural condition; with manufactured slopes landscaped with plants similar in nature and character to the surrounding natural landscape and pruning and thinning of vegetation for fuel modification. In the second condition, natural open space slopes abutting view lots are planted with slope planting in accordance with Table IV-1, *Plant Palette*. Additional trees are added to the lower portion of the slope in both conditions to provide an additional buffer along the off-site residential neighborhoods.

b. Residential/Open Space Interfaces

A landscaped interface is provided between residential land uses and preserved, natural Open Space. Residential lots abutting Open Space land uses feature a 5’ to 6’ tall Tubular Steel Fence, as shown in Figure IV-21, *Residential/Open Space Interface*. In some locations, manufactured slopes provide a buffer between the open space areas and residential development. Manufactured slopes consist of evergreen and deciduous grove trees, shrubs, and groundcover planting in accordance with Table IV-1, *Plant Palette*.

c. School (or Residential)/Community Park Interface

A landscaped interface should be provided between the School Site (or residential land uses) and the Community Park, as shown in Figure IV-22, *School/Community Park Interface*. Where the park occupies higher ground compared to the school or residential, the interface consists of a graded slope planted with shrubs and clusters of trees to frame views from the park and soften the visual impact of the school structures below. Planting material within this interface are consistent with *Parks and Recreation* planting in accordance with Table IV-1, *Plant Palette*. A 5’ to 6’ tubular steel fence is provided at the top of the graded slope. The slope contains a concrete V-Ditch to protect the slope and manage stormwater; located at the base of the slope.

d. Business Park/Off-Site Residential Interface

A landscaped interface is provided between Business Park land uses and the off-site residential neighborhoods located to the east of the Specific Plan. As shown on Figure IV-23, *Business Park/Off-Site Residential Interface*, the Business Park land uses will be approximately 65 feet higher in elevation than the adjacent neighborhoods, with the landscaped manufactured 2:1 slope creating a minimum 300-foot buffer between a Business Park building in PA 15 and the nearest residence to the east. In this condition, natural open space slopes abutting Business Park uses are

planted with slope planting in accordance with Table IV-1, *Plant Palette*. Additional trees are added to the top of slope to provide an additional buffer between the Business Park land uses and off-site residential.

e. Business Park/Open Space Interfaces

A landscaped interface is provided between Business Park land uses and natural Open Space. Residential lots abutting Open Space land uses feature a security fence, which may be a 5' to 6' tall Tubular Steel Fence or other similar material, as shown in Figure IV-24, *Business Park/Open Space Interface*. Manufactured slopes consisting of evergreen and deciduous grove trees, shrubs, and groundcover installed in accordance with Table IV-1, *Plant Palette* provide a buffer between the open space areas and Business Park development.

f. Light Industrial/Open Space Interfaces

A landscaped interface is provided between Light Industrial land uses and natural Open Space. Light Industrial uses abutting Open Space land uses feature a security fence, which may be a 5' to 6' tall Tubular Steel Fence or other similar material, as shown in Figure IV-25, *Light Industrial/Open Space Interface*. This interface condition is provided between PAs 12 and 21C.

g. Light Industrial/Residential Interface

A landscaped buffer is provided between Light Industrial land uses within PA 12 and the residential neighborhoods within the southern portion of PA 8. As shown on Figure IV-26, *Light Industrial/Residential Interface*, the Light Industrial land uses will be approximately 70 feet below the residential neighborhoods, creating a significant buffer between PAs 12 and 8. In this condition, open space slopes abutting the eastern boundary of PA 8 are planted with slope planting in accordance with Table IV-1, *Plant Palette*. Additional trees at the top of slope along with the existing 50-foot-wide SCE Easement, and residential Local Road provide an additional buffer between the Light Industrial land uses and residential neighborhoods.

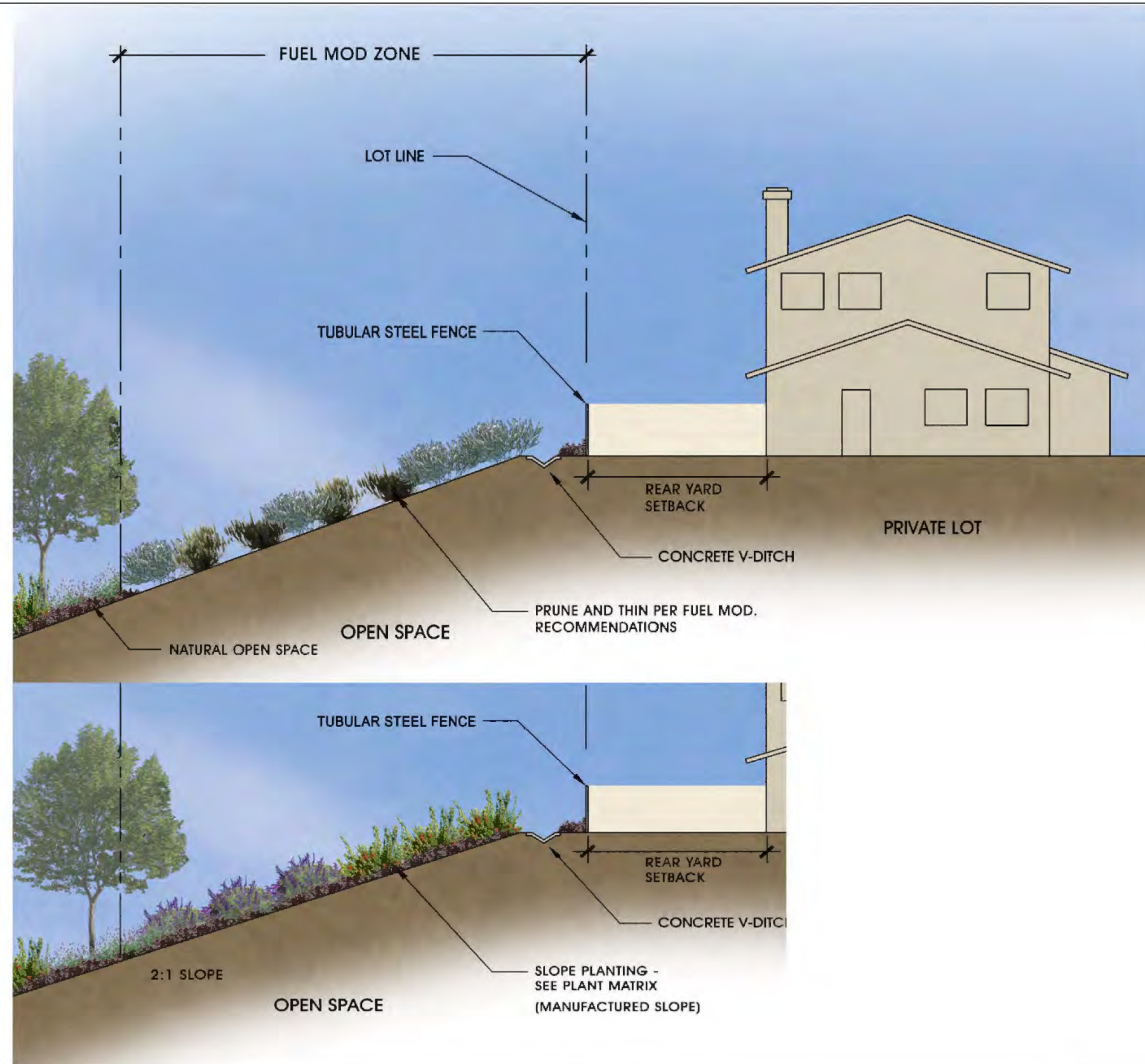
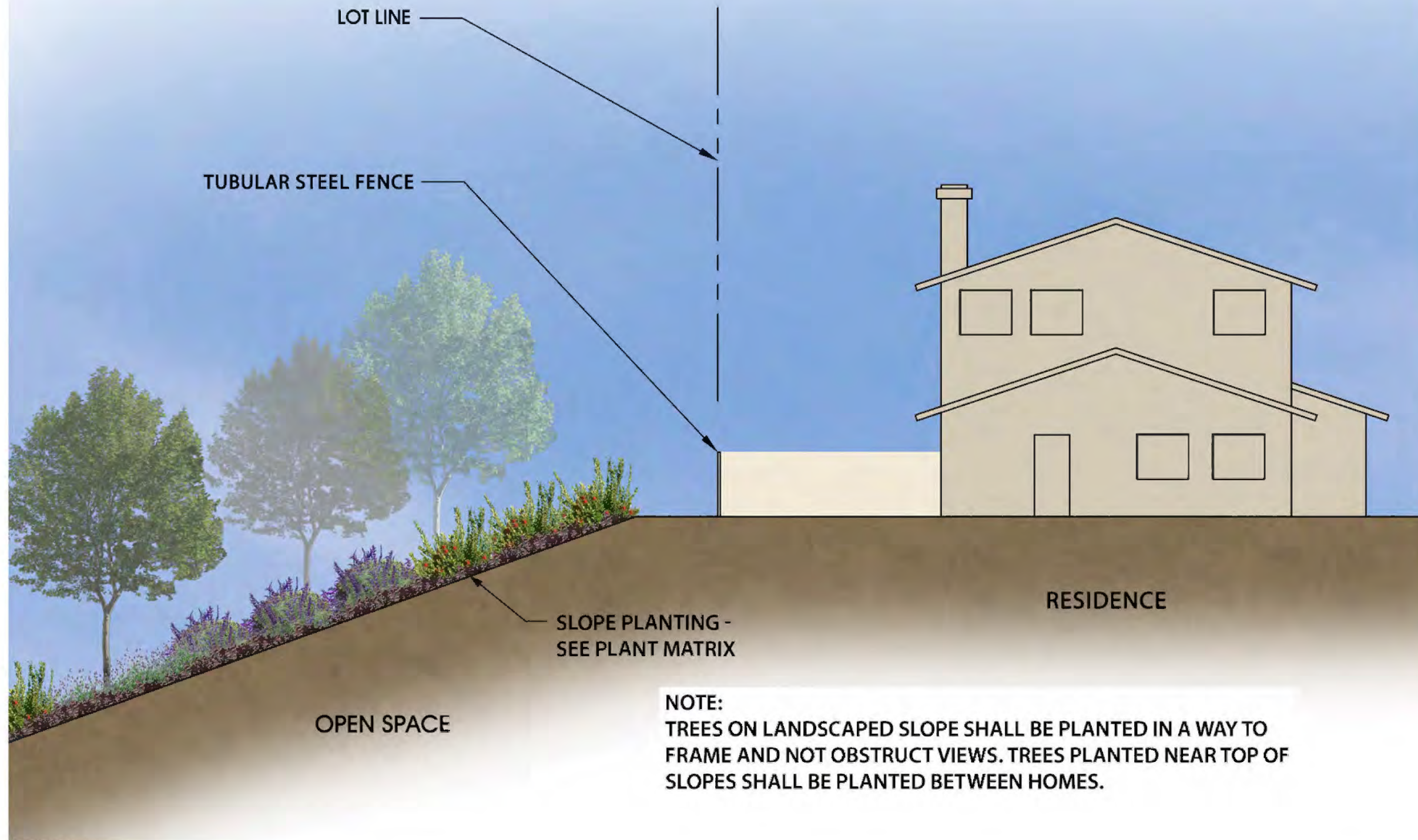


Figure IV-20



Source(s): David Neault & Associates (01-13-2023)

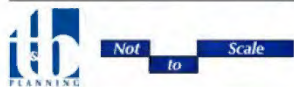
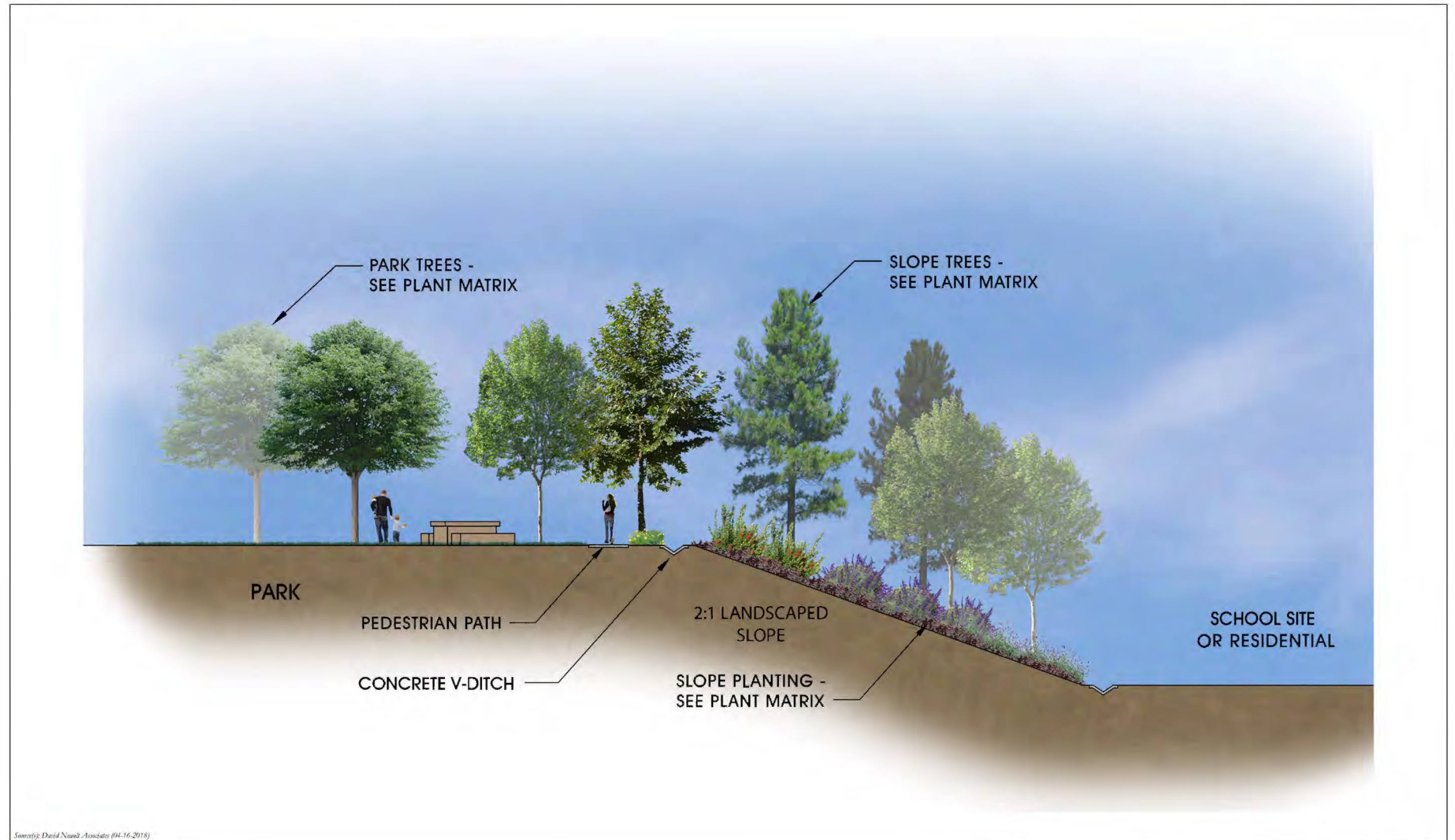


Figure IV-21



Source(s): David Neundt Associates (04-16-2018)

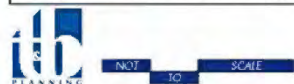
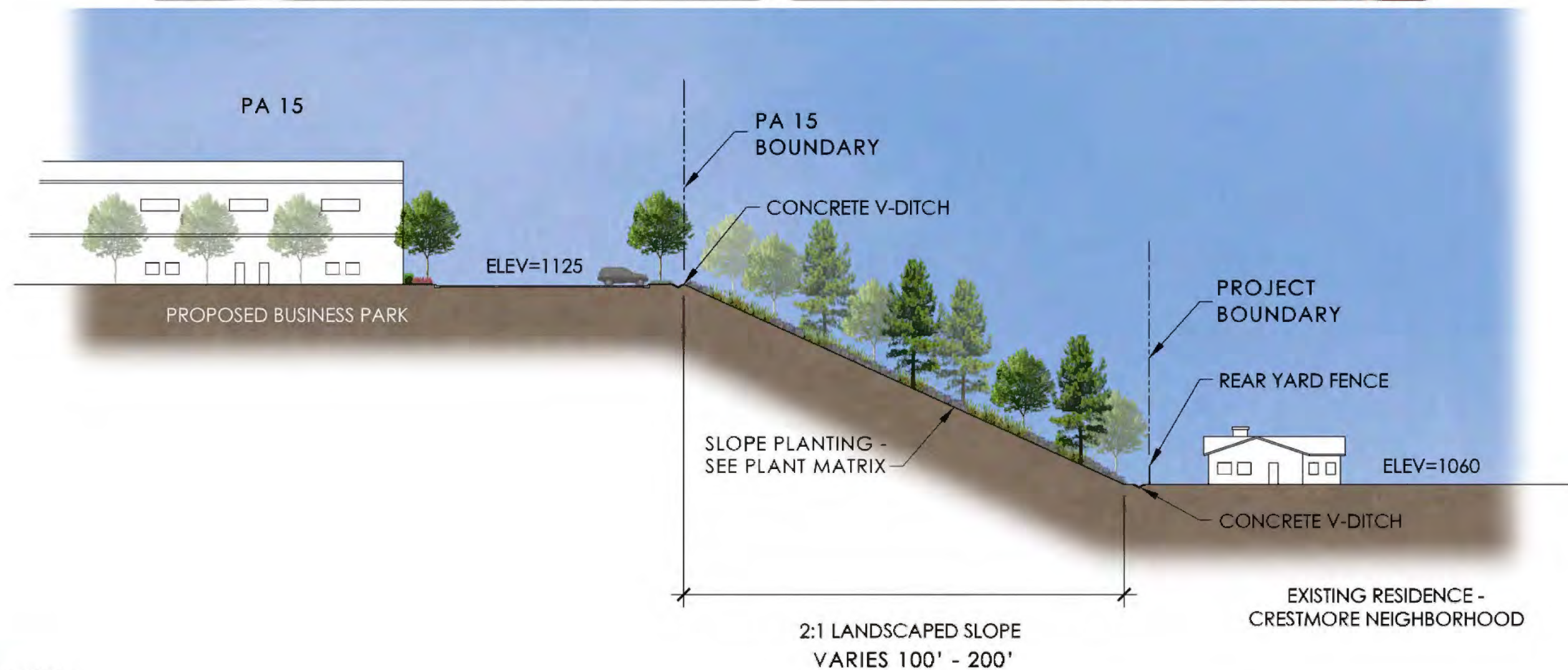


Figure IV-22

School and Community Park Interface



Source(s): David Nant Associates (06-20-2020)

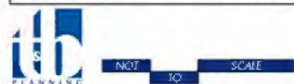
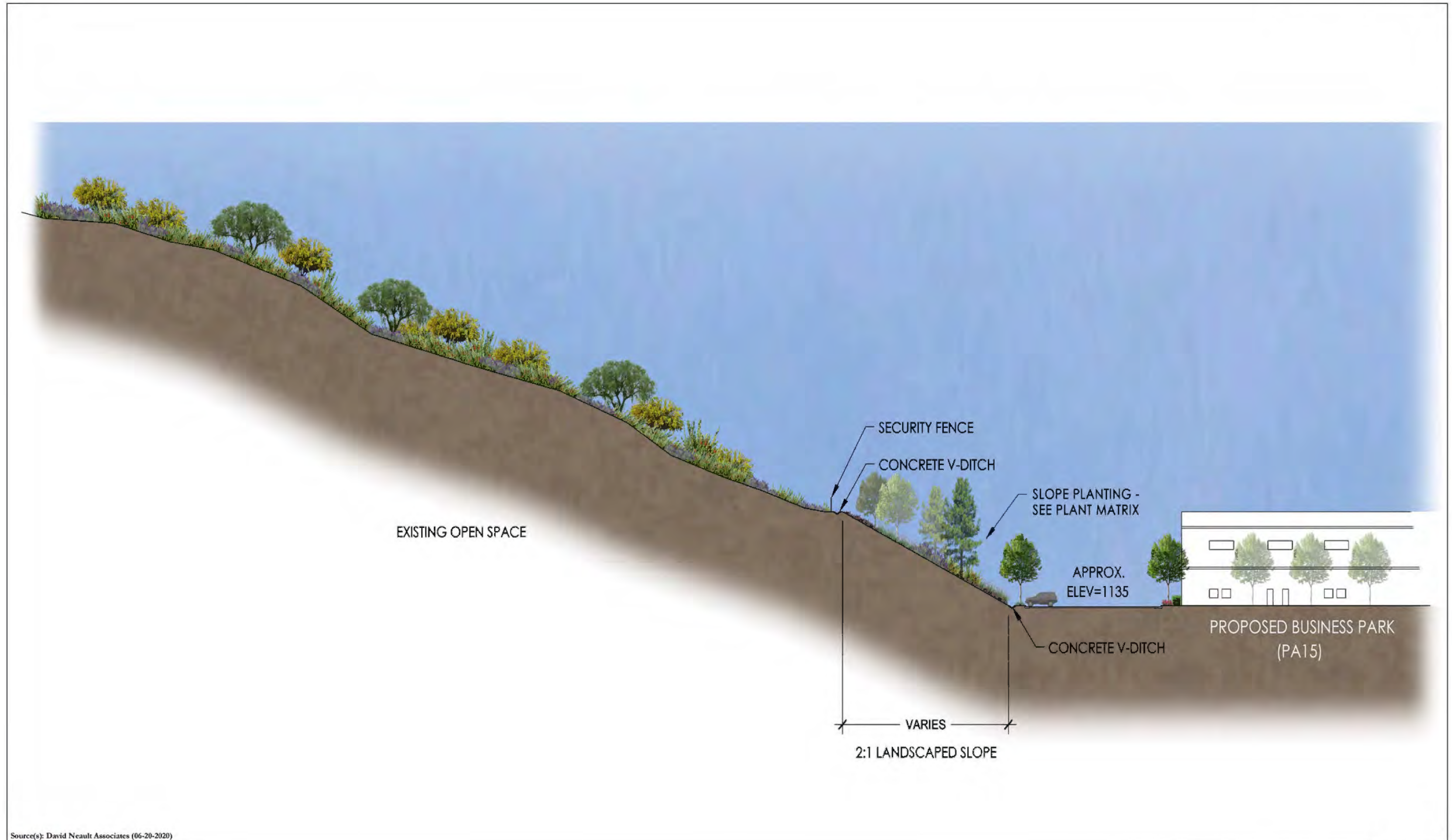


Figure IV-23

Business Park/Off-Site Residential Interface



Source(s): David Neault Associates (06-20-2020)

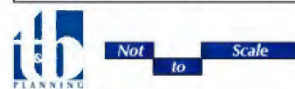
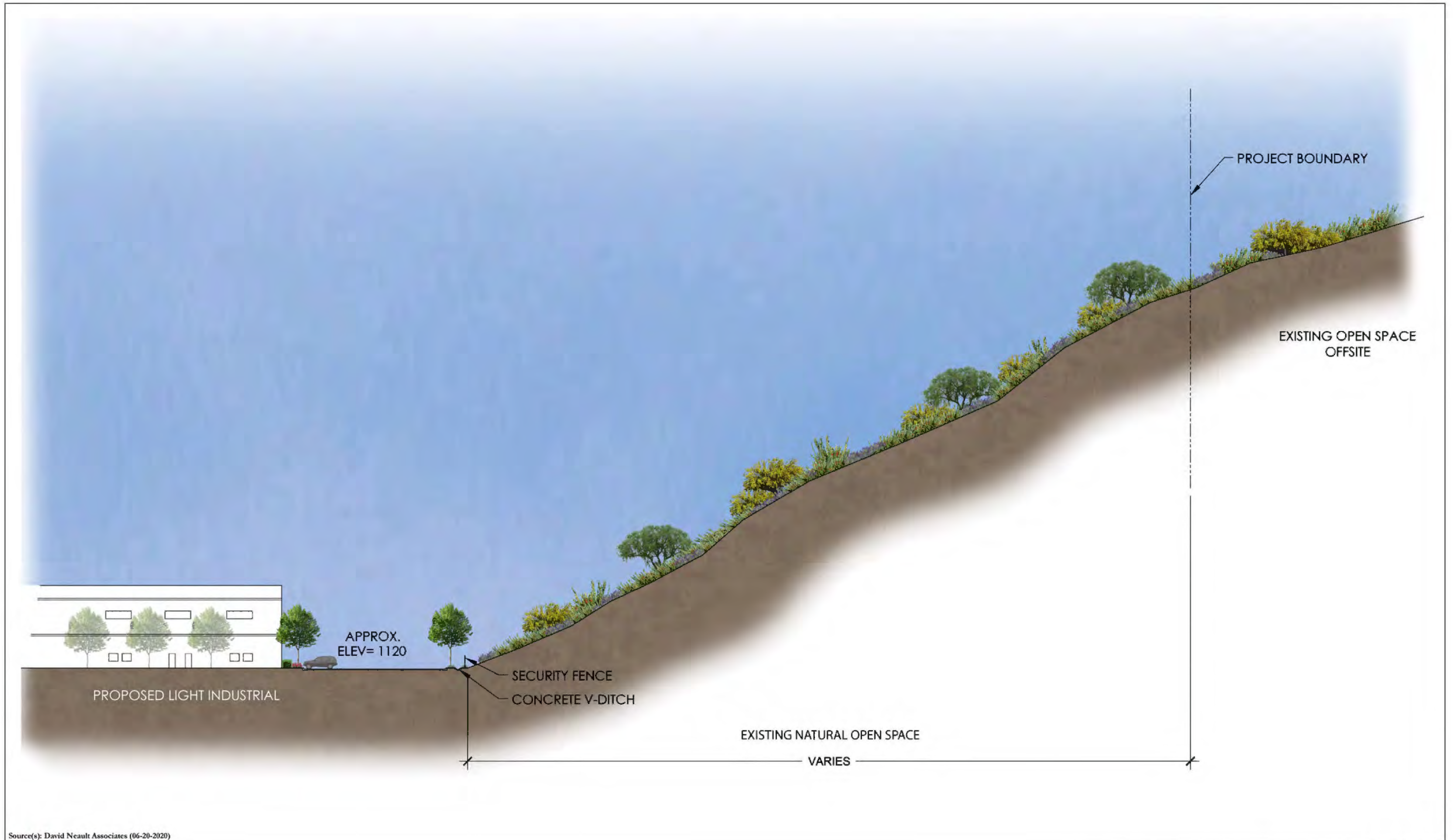


Figure IV-24

Business Park/Open Space Interface



Source(s): David Neault Associates (06-20-2020)

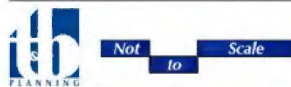
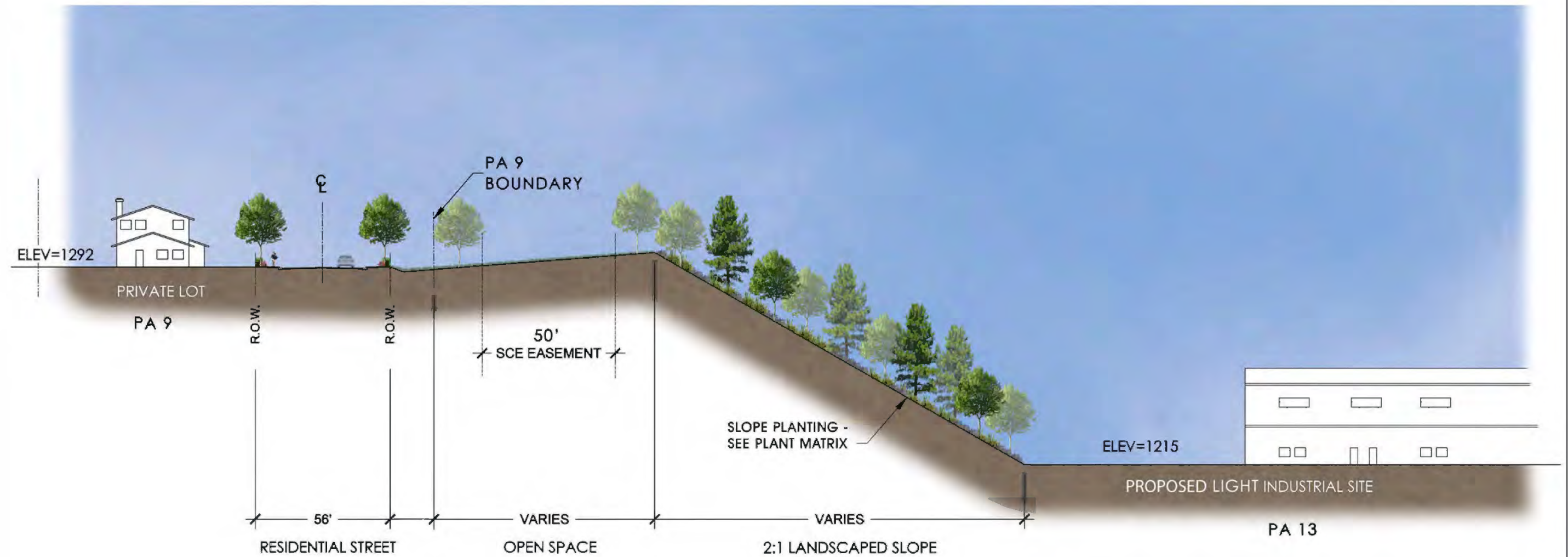


Figure IV-25

Light Industrial/Open Space Interface



Source(s): David Neundt Associates (06-20-2020)



Figure IV-26

Light Industrial/Residential Interface

4. WATER TANK SCREENING

Water tanks are located in the northern portion of RIO VISTA to provide water service to the community. The tanks are located within a manufactured slope area, which ensures the tanks are screened from view from the surrounding areas. The water tanks should be painted a natural color to blend into the surrounding vegetation and soils, such as a light tan, green, or other similar earth-toned color. Anti-graffiti coating of up to 12 feet in height shall be provided on the water tank.

As shown in Figure IV-27, *Water Tank Screening Plan View*, and Figure IV-28, *Water Tank Screening Elevation View*, the water tanks are primarily surrounded by open space, and are naturally screened by the community's topography. To screen views of the water tanks from surrounding residential uses, vertical evergreen trees, large canopy evergreen trees, and large and medium shrubs are planted on the slopes leading to up the water tank.

Any wireless communication towers considered on the site shall be designed to minimize the visual impacts of such facilities, and in conformance with Section 9.275 of the City Municipal Code.

5. COMMUNITY FENCES AND WALLS

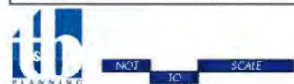
Walls and fences are provided within RIO VISTA as illustrated on Figure IV-29, *Conceptual Wall and Fence Plan*, and are predominantly located around the perimeter boundaries of each residential, Light Industrial, and Business Park PA that interfaces with open space, roads, parks, or off-site land uses. Fencing and walls are used to define the limits of property ownership, as well as for the creation of exterior privacy. Interior side and rear yard wall can be Split-Face Block walls, Slump Stone Block walls, Vinyl Fences, or Precision Block walls (Light Industrial and Business Park PAs only), provided it complies with all the applicable provisions in the Specific Plan. Vinyl fencing is prohibited on the perimeters of residential properties. The maximum height of any solid fence or wall located within the front yard setback is 3 feet. The maximum overall height of view fences or combinations fences/walls is 6 feet. Low walls on front and side yards are encouraged, with the exception of areas with retaining walls.

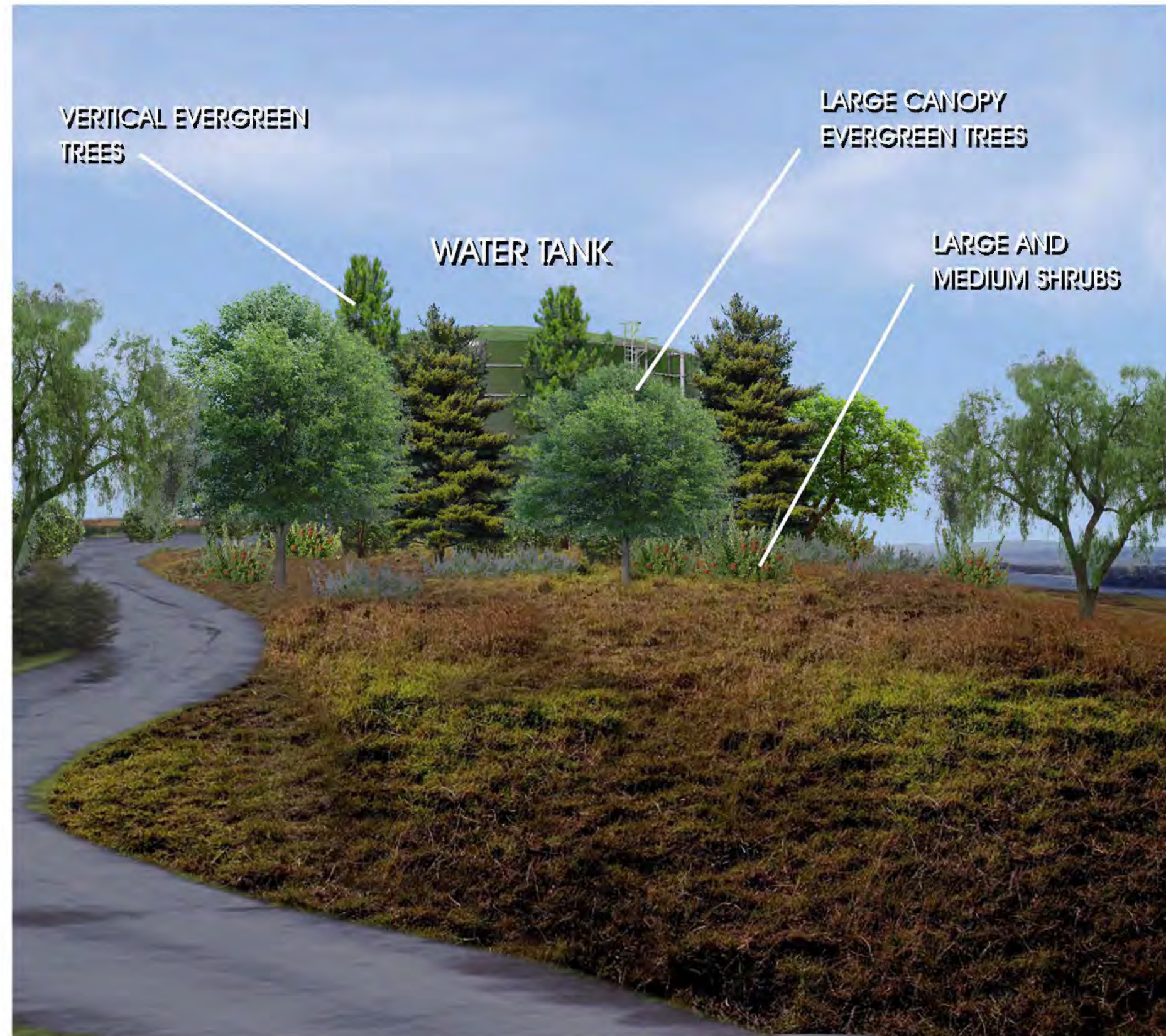
Along building site perimeters and interior to building sites within the Light Industrial and Business Park uses, the installation of fences and walls will be necessary. The final locations and details of these fences and walls will be determined when buildings are designed and oriented during final implementing projects. As shown on Figure IV-29, tubular steel fences and concrete screen walls may be provided around the perimeters of individual building sites. Walls and fences should be provided around loading and dock areas, trailer parking areas, and parking lots to screen on-site uses from public views and public roads.

The walls and fences used within RIO VISTA are major visual elements and have been carefully designed to complement the overall theme. Community walls and fences are an integral component and extension of the building design and surrounding landscape. A strong cohesive appearance is achieved through the use of "community walls" and general overall wall guidelines. The walls and fencing will provide a durable, long-term community edge. Gates should be complementary in style and color to its associated fence or wall. Design and material for each wall and fence is depicted in Figure IV-30, *Wall and Fencing Detail*, and described in detail below.



Source(s): David Nant Associates (09-21-2015)





Source(s): David Noland Associates (09-21-2015)

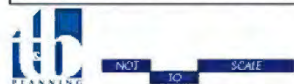


Figure IV-28

Water Tank Screening Elevation View

6. WALLS AND FENCING DETAILS**a. Split-Face Block Wall**

Split-Face Block Walls provide a rear and side yard enclosure where privacy or noise attenuation is desired, such as where residential land uses abut roadways, parks, and water quality basins. Split-Face Block Walls are provided for exterior walls and returns visible from public. Split-Face Block Walls are only provided on the exterior side, however, both sides may be Split-Face Block Walls if visible from public on both sides. Split-Face Block Walls are approximately 6' tall constructed with a precision masonry cap. Pilasters are situated at wall terminus points and are uniformly spaced along the length of the wall to create visual interest. Pilasters should be at least 2" above wall height.

b. Precision Block Wall

Precision Block Walls or split-face block walls may be provided on the interior side of the wall along the boundaries of the Light Industrial and Business Park uses that is not visible from the public street or residential areas. Precision Blocks Walls are approximately 5'6" tall constructed with 6x8x16 precision blocks and precast concrete wall caps. Precision block walls are prohibited in residential areas.

c. Tubular Steel Fence

To maximize views, Tubular Steel Fencing is situated where residential, Light Industrial, and Business Park land uses abut open space areas or a downhill slope. This fencing may be used within individual building sites around loading and dock areas, truck yards, surface detention basins, and to separate visitor parking lots from employee parking lots. Tubular Steel Fencing is 5' in height, decorative, powder coated, and constructed from tubular steel pickets with tubular steel posts a maximum of 8' on center, with split face block pilasters to match the Split-Face Block Wall located at the fence corners.

d. Vinyl Fence

Vinyl Fencing may be provided along the boundaries of Business Park and Light Industrial PAs, and shall be located along the side and rear property lines of lots that do not abut open space or public roadways, and where it is not necessary to preserve views. Vinyl Fencing is 5'6" in height and constructed from a neutral tan color vinyl complementary in color to the Split-Face Block Walls with a flat non-reflective finish. The use of vinyl fencing is prohibited on the perimeter of residential lots, but may be used for interior side and rear yard walls not adjacent to open space or public roadways. Vinyl Gates provide access from the side yards to the rear yard of each home in RIO VISTA. Vinyl gates are 4' wide and 5'6" tall, constructed from a neutral tan color vinyl to match the Vinyl Fence.

e. 3-Rail Vinyl Fence

Fencing adjacent to the soft surface D.G. trail consists of 3' tall 3-Rail Vinyl Fence. Posts are situated along the fence at a maximum of 8' on center. Trail fencing shall conform to the Jurupa Area Recreation and Park District's standards and/or City Community Facilities District (CFD) standards as applicable.

f. Concrete Tilt-Up Screen Wall

A concrete tilt-up screen wall may be provided along the boundaries of the Light Industrial and Business Park uses within PAs 12, 13, 14, 15, and 16 and within individual building sites around loading and dock areas, truck yards, and parking lots. A solid wall is preferred over fencing when complete visual screening is necessary, or for noise attenuation. Concrete screen walls are designed to range from six (6') to fourteen (14') feet tall, consisting of painted concrete tilt-up screen walls, with the top of the walls painted. In addition, concrete screen walls may provide tubular steel fencing rolling gates made of tubular steel fencing for additional security. The final details of the locations and heights of concrete screen walls will be determined when buildings are designed and oriented during implementation of RIO VISTA.

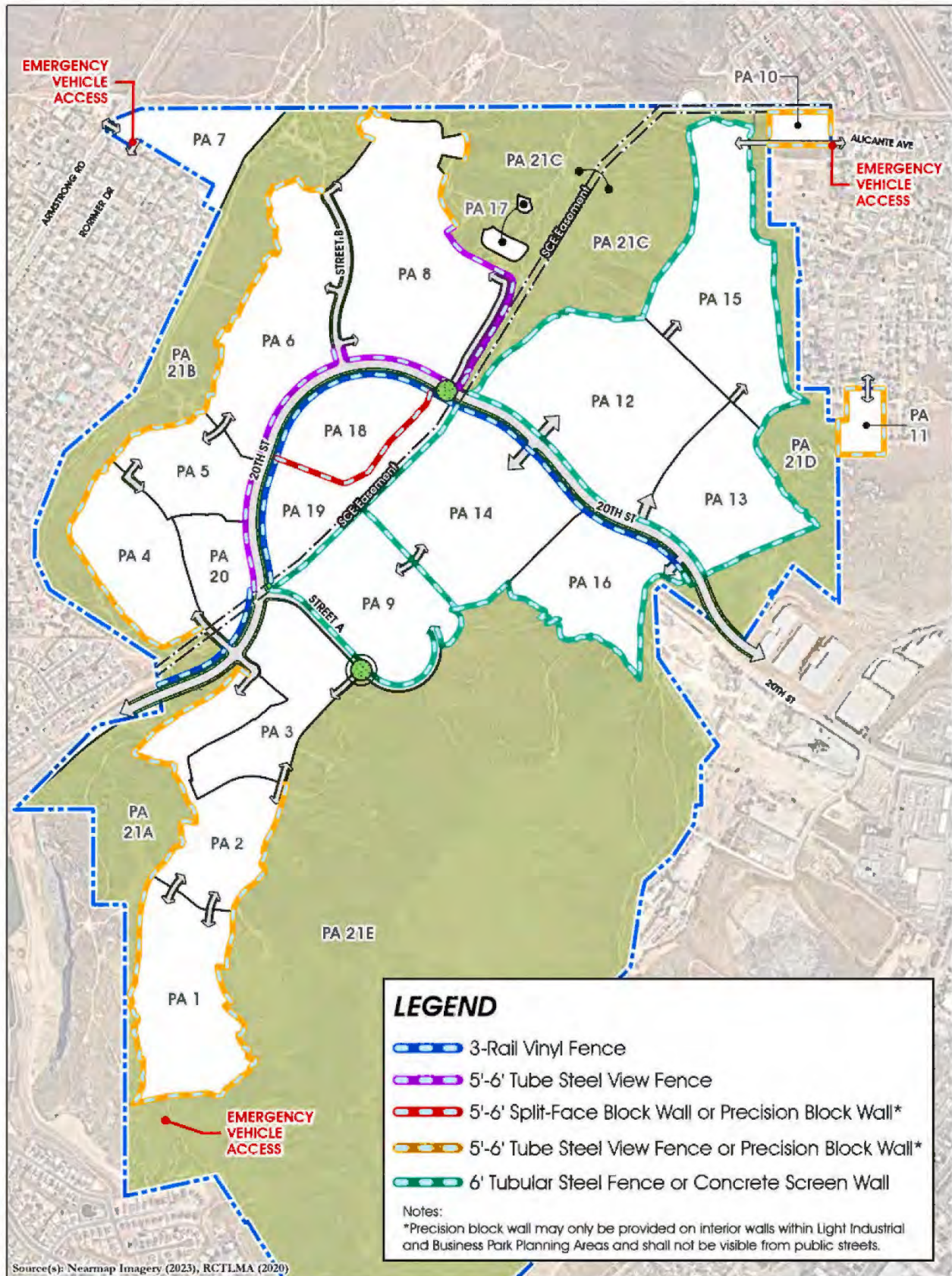


Figure IV-29

Conceptual Wall and Fencing Plan

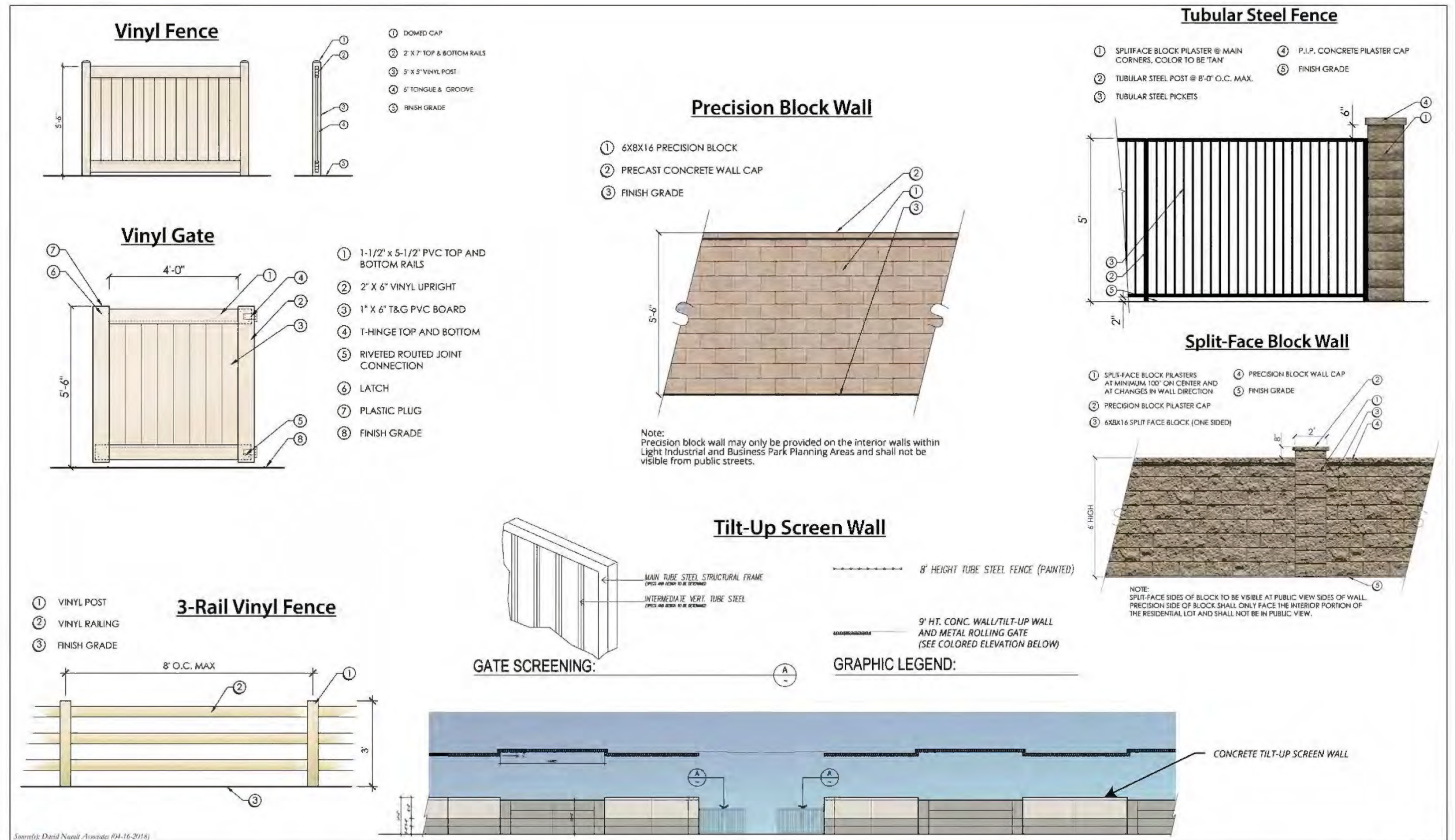


Figure IV-30

Wall and Fencing Detail

Source(s): David Nantel Associates (04-16-2018)



7. PARK AND RECREATION AMENITIES

Critical to the success of any community is the quality of the community spaces and their successful integration into the community fabric. As shown in Figure II-5, *Open Space and Recreation Plan*, a variety of recreational opportunities are provided within RIO VISTA. Outdoor recreation experiences are encouraged through the development of a number of parks and extensive walking, biking and soft surface trails. Community lifestyle needs have been anticipated with a variety of recreation experiences, including the Community Park, Neighborhood Parks, tot lots, trails, and open space. The conceptual plans for these amenities are described in detail below.

a. Community Park

Centrally located within RIO VISTA, the 14.3-acre Community Park in PA 19 provides a variety of recreational amenities. As conceptually shown in Figure IV-31, *Conceptual Community Park Plan*, park amenities include tot lots, trails, baseball fields, tennis courts, basketball courts, and open turf play fields. A concession/restroom facility, picnic tables, and drinking fountains may also be located within the Community Park. This selection of amenities can provide for a full range of activities for residents of any age. The portion of PA 19 located within the SCE Easement are prohibited to construct any buildings or structures, however, recreational trails or open fields may be provided.

b. Neighborhood Parks

As conceptually shown in Figure IV-32, *Conceptual Neighborhood Park Plan*, the RIO VISTA Specific Plan also provides for Neighborhood Parks that may range from 0.75 to 1.0-acre to provide recreational amenities in close proximity to residential neighborhoods. These parks include tot-lots, open turf areas, bench seating, picnic tables, and decomposed granite trails. All recreational facilities will be landscaped, and where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting, in accordance with Section IV.8, *Plant Palette*. Please note final locations of neighborhood parks shall be determined at implementation of subdivision map(s).

c. Trails/Pedestrian Path System

The trails/pedestrian path system is a major recreational element in RIO VISTA. As shown in Figure IV-10, *Landscape Master Plan*, formal trails and pedestrian paths are situated within residential PAs, adjacent to roadways, and within open space areas. Trail amenities include trail signage, trail head monumentation, and scenic viewpoints, which are provided at various locations throughout the community to be determined by implementing projects. Trails and pedestrian paths encourage recreational activities such as walking, jogging, bicycling, and equestrian use. This element of the community improves pedestrian connectivity between the residential neighborhoods, parks, and school site. Trail fencing shall be in accordance with JARPD standards and/or City CFD standard, as applicable. RIO VISTA contains four (4) distinct trails/pedestrian paths: existing natural foot paths, soft surface D.G. trails, a Class I Bike Path/Trail, and community sidewalks.

- **Existing Trails:** Please refer to Section II.C.1. *Open Space and Recreation Plan Description* for an overview of the planned trails system.
- **Soft Surface Trail:** A 10' wide decomposed granite soft surface trail also runs parallel to portions of 20th Street and is separated from the Class I Bike Path/Trail by landscaped planters and a 3' tall 3-rail vinyl fence.
- **Class I Bike Path/Trail:** A 10' wide paved trail parallels the portions of the soft surface trail adjacent to 20th Street provides for a Class I Bike Path/Trail through the

community. The Class I Bike Path/Trail runs adjacent to 20th Street, generally transecting the community in an east/west orientation, and runs to the west of the Community Park (PA 19) and to the north of the school site (PA 18). The Class I Bike Path/Trail is buffered on both sides by landscaped planting. In addition to the landscaped buffer, a 3' tall, 3-Rail Vinyl Fence separates the Class I Bike Path/Trail from the soft surface trail.

- **Community Sidewalks:** A 5' wide paved sidewalk is provided on both sides of Local Roads and Collector Roads within RIO VISTA. Sidewalks along Collector Roads are separated from the curb by a 5' wide parkway planting, to provide an enhanced pedestrian environment along roads within RIO VISTA. As shown, on Figure IV-14, *20th Street Streetscape with Soft Surface Trail & Bike Path*, and Figure IV-15, *20th Street Streetscape*, the sidewalks along 20th Street meander within an 18' wide landscaped parkway. On Local Roads, 5' wide curb-adjacent landscaped zones abut residential lots on one side and a 5' wide curb-adjacent sidewalk on the other. A 6' wide paved sidewalk is provided on both sides of Industrial Collector Roads within RIO VISTA to provide enhanced pedestrian connectivity between 20th Street and the Light Industrial/Business Park land uses within RIO VISTA.

The RIO VISTA trail system is enhanced by trailhead monuments and signage, as illustrated on Figure IV-33, *Trail Signage and Monumentation*. These elements provide information and safety to trail users, and are designed to be attractive, appropriately scaled, and placed at logical locations in RIO VISTA. Illustrations of the trail signage and monumentation are provided in Figure IV-33, *Trail Signage and Monumentation*. Trailhead monuments and trail signage are to be maintained by JARPD.

8. FUEL MODIFICATION ZONES

Rio Vista contains manufactured slopes which abut the natural open space throughout the community. In these conditions, a Fuel Modification Zone (FMZ) is provided for managing the potential fire hazard that this interface of open space and manufactured slopes presents. A 100-foot FMZ is provided along this interface starting from the structure into the rear yards and beyond into the open space. The FMZ is divided into two 50' zones. The first zone extends from the back of the home for 50' and will be irrigated. Plant material and spacing of trees, shrubs and groundcover will be made to be consistent with the recommendations of Cal Fire. The second zone extends another 50' beyond Zone 1 and be non-irrigated. Pruning, thinning of natural vegetation along with removal of any fire hazardous plants will occur within this zone as consistent with Cal Fire standards.



Source(s): David Neault Associates (04-16-2018)

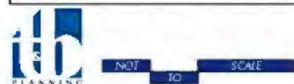
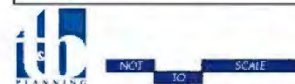
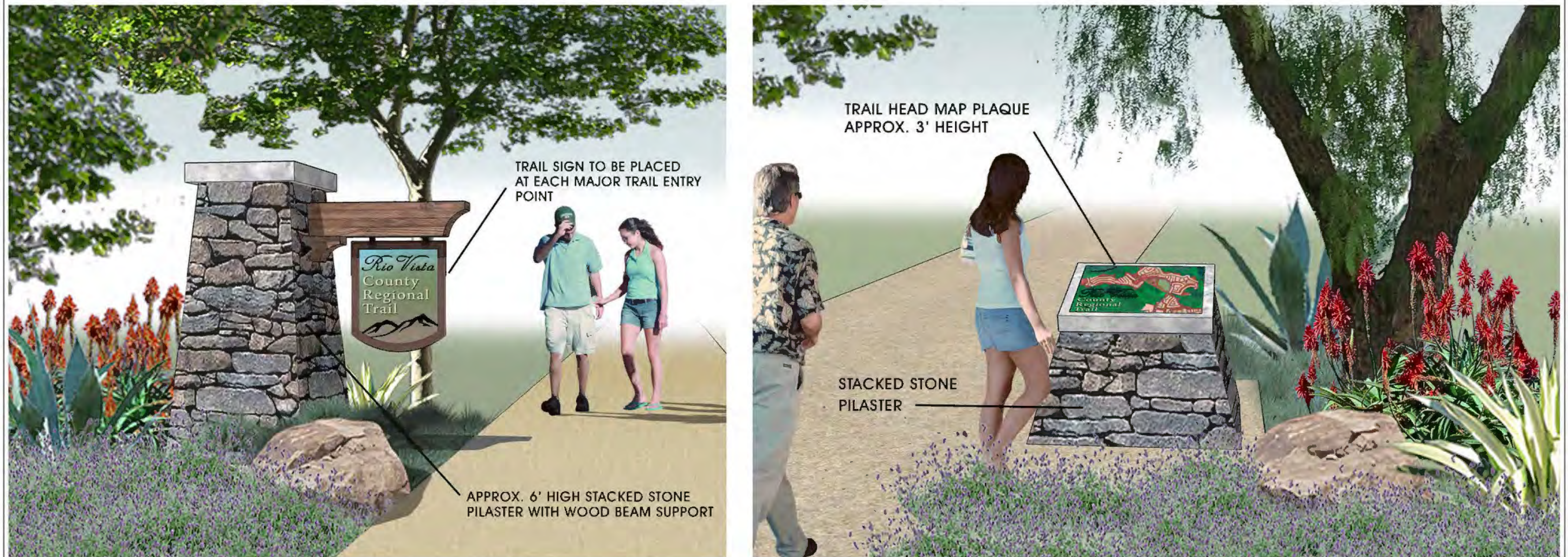


Figure IV-31



Source(s): David Neault and Associates (2022)





Source(s): David Nant Associates (09-21-2015)

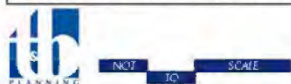


Figure IV-33

Trail Signage and Monumentation

9. PLANT PALETTE

These guidelines provide a simple Plant Palette that complements and enhances the thematic setting for the community. In addition, these plant palettes have been selected for their appropriateness to climatic conditions, soil conditions, and concern for maintenance and water conservation.

Plant selection for given project areas should have similar cultural requirements so irrigation can be designed to minimize water use and plant material can thrive under optimal conditions. The plant palettes have been separated into distinct groups and are summarized in Table IV-1, *Plant Palette*. As an example, the plants listed under the Parks and Recreation sub-palette column may be provided within the Community Park, and Neighborhood Parks throughout the community.

Table IV-1 Plant Palette

Plant Material		Application Sub-palette							
		20' Street	Collector Roads	Entries	Parks and Recreation	Open Space and Slopes	In-Tract Parkways	In-Tract Street Trees	Basins (and Basin Slopes)
Botanical Name	Common Name								
TREES									
Arbutus "Marina"	Marina Arbutus			X	X	X			
Chitupa tashkentensis "Pink Dawn"	Chitalpa			X	X	X		X	
Cinnamomum camphora	Camphor Tree				X	X			
Geijera parviflora	Australian Willow				X	X			X
Koelrueteria bippinata	Chinese Flame Tree			X	X	X			
Lagerstroemia indica x fauriei	Crape Myrtle Cultivars			X	X	X		X	
Magnolia g. 'St. Mary's'	Southern Magnolia				X			X	
Parkinsonia aculeata	Palo Verde	X	X	X	X	X		X	
Pinus eldarica	Afghan Pine*					X			
Pistacia chinensis	Chinese Pistache								
Platanus a. 'Bloodgood'	London Plane Tree				X	X			
Platanus racemose	California Sycamore				X	X			X
Podocarpus gracilior	Fern Pine	X							
Pyrus calleryana "Chanticleer"	Chanticleer Pear				X			X	
Pyrus calleryana "Bradford"	Bradford Pear				X				
Quercus agrifolia	Coast Live Oak*	X	X	X		X			
Quercus virginiana	Southern Live Oak	X			X			X	
Rhus lancea	African Sumac*					X		X	X
Schinus molle	California Pepper*	X	X	X		X			
Ulmus parvifolia "Drake"	Evergreen Elm							X	
SHRUBS, PERENNIALS, GRASSES AND GROUNDCOVERS									
Acacia r. "Lowboy"	Spreading Acacia				X				
Agapanthus africanus	Lily-Of-The-Nile				X		X		
Agave vilmoriniana	Octopus Agave*	X	X	X					

<i>Plant Material</i>		<i>Application Sub-palette</i>							
		<i>20th Street</i>	<i>Collector Roads</i>	<i>Entries</i>	<i>Parks and Recreation</i>	<i>Open Space and Slopes</i>	<i>In-Tract Parkways</i>	<i>In-Tract Street Trees</i>	<i>Basins (and Basin Slopes)</i>
<i>Botanical Name</i>	<i>Common Name</i>								
Agave americana	Century Plant*	X	X	X					
Agave a. "Medio-picta"	Century Plant*	X	X	X					
Anigozanthos Hybrids	Kangaroo Paw*	X	X	X	X	X	X		
Arbutus unedo	Strawberry Tree*	X	X	X	X	X			X
Callistemon v. "Little John"	Dwarf Bottlebrush	X	X	X	X	X	X		
Carex pansa (in basins)	Calif. Meadow Sedge								X
Ceanothus spp.	California Lilac*	X	X	X		X			X
Baccharis P. 'Pigeon Point'	Coyote Brush*	X	X	X		X			X
Bulbine frutescens	Stalked Bulbine*	X	X	X		X			
Buxus japonica "Winter Gem"	Winter Gem Boxwood			X	X				
Cistus x purpureus	Rockrose*	X	X	X	X	X	X		X
Cistus salviifolius 'Prostratus'	Sageleaf Rockrose*	X	X	X	X	X	X		
Cotoneaster d. "Lowfast"	Lowfast Cotoneaster			X	X	X			
Dietes vegeta	Fortnight Lily				X	X	X		X
Dodonea v. 'Purpurea'	Purple Hopseed				X				
Eleagnus pungens	Silverberry				X				
Euonymus spp	Evergreen Euonymus				X		X		
Feijoa sellowiana	Pineapple Guava	X	X	X		X			
Helictotrichon sempervirens	Blue Oat Grass	X	X	X	X	X	X		X
Hemerocallis hybrid	Daylily	X	X	X	X	X	X		
Hesperaloe parviflora	Red Yucca*	X	X	X		X			
Heteromeles arbutifolia	Toyon*	X		X		X			X
Leucophyllum f. "Green Cloud"	Texas Ranger*	X	X	X		X			
Ligustrum japonicum	Privet				X				
Lavandula angustifolia "Munstead"	English Lavender	X	X	X	X	X	X		
Mahonia repens	Creeping Barberry*	X	X	X		X	X		X
Muhlenbergia rigens	Deer Grass*	X	X	X		X			X

<i>Plant Material</i>		<i>Application Sub-palette</i>						
		20 th Street	Collector Roads	Entries	Parks and Recreation	Open Space and Slopes	In-Tract Parkways	In-Tract Street Trees (Basins and Basin Slopes)
<i>Botanical Name</i>	<i>Common Name</i>							
Myoporum p. "Putah Creek"	Myoporum				X	X	X	
Myrtus communis 'Compacta'	Compact Myrtle				X		X	
Nandina domestica	Heavenly Bamboo				X		X	
Pennisetum s. "Cupreum"	Purple Fountain Grass	X	X	X	X	X		X
Photinia fraseri	Red-Tip Photinia				X	X		
Pittosporum t. "Variegata"	Variegated Mock Orange				X	X	X	
Raphiolepis spp	India Hawthorn				X	X	X	
Rhus ovata	Sugar Bush*	X		X		X		
Rosa spp	Rose*	X	X	X	X	X	X	
Rosmarinus o. "Huntington Carpet"	Prostrate Rosemary*	X	X	X	X	X	X	
Rosmarinus o. "Tuscan"	Upright Rosemary*	X	X	X	X	X	X	
Salvia clevelandii 'Winnifred Gilman'	Cleveland Sage*	X	X	X		X		
Salvia greggii	Autumn Sage*	X	X	X	X	X	X	
Salvia leucantha	Mexican Sage*	X	X	X	X	X	X	
Trachelospermum jasminoides	Star Jasmine				X		X	
Verbena peruviana	Verbena*	X	X	X		X		
Westringia fruticose	Coast Rosemary*	X	X	X	X	X		
Xylosma congestum	Shiny Xylosma				X	X		
VINES								
Clytostoma callistegiodes	Lavender Trumpet Vine				X	X		
Distictus buccinatoria	Blood-Red Trumpet Vine				X	X		
Parthenocissus tricuspidata	Boston Ivy				X	X		
TURF GRASS								
Tall Fescue	Turf				X			

*Indicates drought-tolerant plant species

** Invasive plants are prohibited in order to protect the appropriate plant species within and surrounding the RIO VISTA community from harmful non-native species and fire hazards.

2C. LIGHT INDUSTRIAL & BUSINESS PARK ARCHITECTURAL DESIGN GUIDELINES



1. DESIGN THEME

A portion of the RIO VISTA Specific Plan is a contemporary employment and commerce center containing Light Industrial and Business Park land uses.

The architectural style of the commerce center within RIO VISTA works in concert with the residential architectural styles and emphasizes a contemporary interpretation of the traditional context with a focus on reducing the appearance of building massing with the use of structural articulation. Buildings are characterized by simple and distinct cubic masses with interlocking volumes of wall planes, colors, and materials to create visual appeal, aesthetically pleasing proportions and strong shadow patterns. Colors, materials, and textures can be mixed to create interest.

Design elements are selected to be compatible in character, massing, and materials in order to promote a clean and contemporary feel. Individual creativity and identity is encouraged, but design integrity and compatibility must be maintained among all buildings and between PAs, to reinforce a unified image for RIO VISTA.

The following guidelines apply to all Light Industrial and Business Park buildings within RIO VISTA to ensure that structural development is visually consistent, appealing, and inviting to pedestrians and motorists. Note that building façades that orient inward to truck courts or service areas or that are not clearly visible from abutting public roads, or are not abutting publicly accessible viewing areas, are not required to adhere to the below Building Form guidelines.

a. Building Form

Building form is one of the primary elements of architecture. Numerous design aspects, including shape, mass (size), scale, proportion, and articulation, are elements of a building's "form." Building forms are especially important for building façades that are visible along the following view corridors:

- Building façades in PAs 12, 13, 14, and 16 that are visible from 20th Street.
- Building façades in PAs 12, 13, and 15 that are visible from the residential neighborhoods to the west, from the off-site residential neighborhoods to the east and north.



Although provided for illustrative purposes only, the image above shows how building faces visible from public roadways incorporate angular changes in massing, building materials, color, texture, and accents; no loading docks are to be visible from these roadways.

- Use simple geometric shapes as the overall building form. Rectangular forms are encouraged to promote balance and visual interest. Avoid arbitrary, complicated building forms.
- Long horizontal wall planes visible from a public street should include a combination of periodic changes in exterior building materials, color, decorative accents, and articulated features.
- Modulation and variation of building masses between adjacent buildings visible from public streets is encouraged.
- Pedestrian entrances to buildings (with the exception of service doors and emergency exit doors) should be obvious, using changes in massing, color, and/or building materials.
- Pedestrian and ground-level building entries intended for visitor use should be recessed or covered by architectural projections, roofs, or arcades in order to provide shade and visual relief.
- Architectural and trim detailing on building façades shall be clean, simplistic, and not overly complicated
- Materials applied to any elevations shall turn the corner of the building and continue to a logical termination point in relation to other architectural features or massing.

b. Building Materials, Colors, and Textures

Building materials and colors play a key role in developing a clean, contemporary visual environment; therefore, the selected exterior materials, colors, and textures should complement one another throughout RIO VISTA. Slight variations are encouraged to provide visual interest.

- i. Appropriate primary exterior building materials include concrete and similar materials, including tilt-up panels. The primary materials should be accented by secondary materials including but not limited to natural or fabricated stone, fire resistant wood siding (horizontal or vertical), and metal.
- ii. Trim details may include metal finished in a consistent color, plaster, stone or concrete elements finished consistently with the building treatment. Use of overly extraneous “themed” detailing, like oversized or excessive foam cornice caps, foam molding and window detailing is discouraged.
- iii. Material changes should occur at intersecting planes, preferably at the inside corners of wall planes, or where architectural elements intersect.
- iv. Primary exterior building colors should be light and gray tones. Darker and/or more vibrant accent colors may be provided in focal point areas, such as around building entrances and near outdoor gathering spaces. Bright primary colors, garish use of color and arbitrary patterns or stripes that will clash with this color palette are discouraged, except in signage logos.
- v. Exposed downspouts, service doors and mechanical screen colors shall be the same color as the adjacent wall.



Although provided for illustrative purposes only, the image above shows an example of the conceptual accent building materials, colors, and textures desired for building entries.

c. Windows and Doors

The patterns of window and door openings shall correspond with the overall rhythm of the building and should be consistent in form, pattern, and color within each PA. Guidelines for windows and doors within the commerce center of RIO VISTA are as follows:

- i. When possible, the positioning of doors and windows on individual building façades should occur in a symmetrical and repetitive pattern to create continuity.
- ii. Window styles and trims shall be consistent in form and color in each PA. Window trims shall be finished in a consistent color on each building.
- iii. Gold or unfinished/untreated metal window or door frames are prohibited. Clear silver anodized frames are allowed.
- iv. Glass shall be clear or colored with subtle reflectiveness. Silver glass is prohibited.
- v. Pedestrian entry doors to buildings shall be clearly defined by features such as off-set planes, overhangs, awnings, accent colors and canopies, or embellished with decorative framing treatments – including but not limited to accent trim and materials. Dark and confined entries, flush doorways (except emergency exit and service doors), and tacked-on entry alcoves are discouraged.



Although provided for illustrative purposes only, the image above shows the repetitive and symmetrical patterns and appropriate styles of windows and doors, desired for buildings in the RIO VISTA.

d. Walls and Fences

The following guidelines for walls and fencing will ensure that these features complement the overall RIO VISTA design theme, and are attractive from public viewing areas, scaled appropriately, durable, and integrated consistently within the Specific Plan area.

- i. Freestanding walls and fences should not exceed a height of fourteen (14') feet, measured from the base of the wall/fence to the top of wall/fence.
- ii. Landscaping may be used for visual screening instead of walls and fences in locations where a solid physical barrier is not needed.
- iii. Walls and fences in public view should be built with attractive, durable materials.
- iv. Internal fencing is allowed, provided that fenced area is not within view of public streets.
- v. Along public street frontages, long expanses of wall surfaces should be offset and/or architecturally treated to prevent monotony. Techniques to accomplish this may include, but are not limited to: openings, material changes, pilasters and posts, and staggered sections.
- vi. Wall and fencing materials shall be compatible with other design elements of RIO VISTA.



Although provided for illustrative purposes only, the image above shows screening and wall concepts for truck courts and loading docks.

e. Truck Courts and Loading Docks

- i. Loading doors, service docks, storage areas, and equipment areas shall be fully screened from public roads, residential areas, and publicly accessible locations within RIO VISTA, or other public viewing areas. Screening may be accomplished with solid walls or fences that are compatible with the architectural expression of the building. Screening may also be accomplished by the combination of walls, landscaping and berms.

- ii. Light Industrial and Business Park buildings shall not have loading docks on the building façade(s) facing 20th Street or any other public street when the building is directly adjacent to the street.
- iii. No truck parking, nor loading or unloading activity is permitted to take place from public streets.
- iv. Truck and service vehicle entries should be designed to provide clear and convenient access to truck courts and loading areas such that passenger vehicle, pedestrian, and bicycle circulation is not adversely affected by truck movements.
- v. Loading bays that are utilized by refrigerated trailers shall have dock seals and be equipped with plug-in electrical outlets.
- vi. Conduit should be installed in truck courts in logical locations that would allow for the future installation of charging stations for electric trucks, in anticipation of this technology becoming available in the lifetime of RIO VISTA.
- vii. Electrical rooms to hold sufficiently sized electrical panels should be installed to facilitate the future potential installation of electrical connections from the electrical room to dock doors and/or a separate designated location where diesel engine trucks and/or trailers for freezer/refrigerated warehouse space would park and connect to the electrical system.



Although provided for illustrative purposes only, the image above conceptually shows the design of truck courts and loading docks.

f. Ground or Wall-Mounted Equipment

- i. Ground-mounted equipment, including but not limited to mechanical or electrical equipment, emergency generators, boilers, storage tanks, risers, and electrical conduits, should be screened when feasible from public viewing areas including adjacent public roads. Screening may be accomplished with solid walls, fences, or landscaping.

- ii. Electrical equipment rooms should be located within the building envelope. Pop-outs or shed-like additions are discouraged.
- iii. Wall-mounted items, such as roof ladders or electrical panels, should not be located on the building façade facing adjacent public roads. Wall-mounted items should be screened or incorporated into the architectural elements of the building so as not to be visually apparent from the street or other public areas.



Although provided for illustrative purposes only, the image above shows how ground or wall-mounted equipment would be secured and screened from public viewing areas with landscaping.

g. Rooftop Equipment

- i. Rooftop equipment, including but limited to mechanical equipment, electrical equipment, storage tanks, cellular telephone facilities, satellite dishes, vents, exhaust fans, smoke hatches, and mechanical ducts, shall be screened by rooftop screens or parapet walls so as not to be visible from abutting public roads, and publicly accessible locations within RIO VISTA.
- ii. Integrate rooftop screens (i.e. parapet walls, equipment bays, etc.) into the architecture of the main building. Wood finished rooftop screens are prohibited.
- iii. Design the roofs of Industrial buildings to support the future installation of solar panels.

h. Trash Enclosures

- i. All outdoor refuse containers shall be screened within a permanent, durable enclosure and shall be fully screened from public roads, residential areas, publicly accessible parking lots within RIO VISTA, or other public viewing areas. The enclosure's design shall reflect the architectural style of adjacent buildings and use similar, high-quality materials.
- ii. All outdoor trash enclosures shall be constructed with solid roofs to prevent exposure of dumpster contents to rainfall and prevent polluted storm water runoff from these structures.
- iii. Refuse collection areas shall be located behind or to the side of buildings, away from the building's main entrance



Although provided for illustrative purposes only, the image above shows how rooftop equipment can be screened from public viewing areas.

i. Outdoor Employee Amenities

- i. Bicycle racks should be provided at each building or in a common area that serves multiple buildings to encourage non-vehicular circulation. Industrial and Business Park buildings should include an outdoor employee amenity area, including tables, shade trees and/or shade structures, and chairs so that workers do not have to travel off-site for outdoor enjoyment.



Although provided for illustrative purposes only, the image above shows the placement of outdoor patio break areas and employee amenities adjacent to buildings.

j. Outdoor Lighting

Outdoor lighting of RIO VISTA

is an essential architectural component that provides aesthetic appeal, enhances safe pedestrian and vehicular circulation, and adds to security. Lighting within the public rights-of-way shall adhere to the City of Jurupa Valley's outdoor light requirements, and other applicable City standards. All other lighting on private property in the Specific Plan should adhere to the following guidelines.

- i. Minimize glare and "spill over" light onto public streets and adjacent properties by using downward-directed lights and/or cutoff devices on outdoor lighting fixtures, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, parking, loading, unloading, and similar areas.

- ii. Select all lighting fixtures used in the Specific Plan area from the same – or complementary – family of fixtures with respect to design, materials, fixture color, and light color. Use of LED lighting is encouraged.
- iii. Lights should be unbreakable metal or plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures.
- iv. Neon and similar types of lighting are prohibited in all areas within RIO VISTA.
- v. Locate all electrical meter pedestals and light switch/control equipment in areas with minimum public visibility or screen them with appropriate plant materials.
- vi. Illuminate parking lots, loading dock areas, pedestrian walkways, building entrances, and public sidewalks to the level necessary for building operation and security reasons. Dimmers and motion detectors are permitted.
- vii. Along sidewalks and walkways, the use of low mounted fixtures (ground or bollard height), which reinforce the pedestrian scaled, are encouraged.
- viii. Use exterior lights to accent entrances, plazas, activity areas, and special features.
- ix. To illuminate parking lots or parking structures and their pedestrian links that provide more than five parking spaces for use by the general public, provide a minimum coverage of one foot-candle of light with a maximum of eight foot-candles on the parking or walkway surface, unless otherwise approved by the City of Jurupa Valley for visibility and security.
- x. To illuminate aisles and passageways within a building complex, provide a maximum of one-half to one foot-candle of maintained lighting.
- xi. High Pressure Sodium (HPS) light fixtures are prohibited for site lighting.



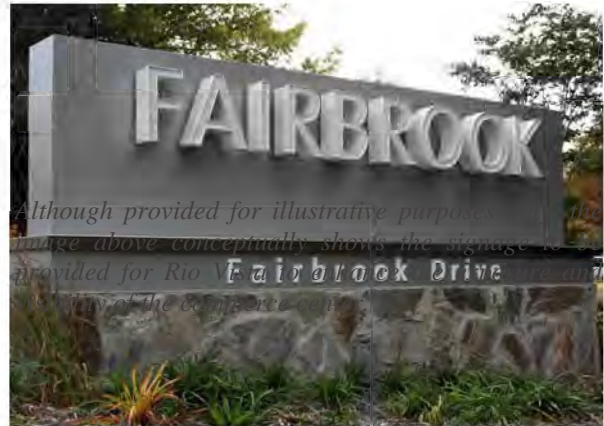
Although provided for illustrative purposes only, the image above conceptually lighting fixture consistent with the overall theme of Rio Vista, and minimizes glare and spill over onto public streets and adjacent properties.

k. Signage Guidelines

Signage within the Specific Plan area serves a variety of purposes. Signs will identify RIO VISTA and its building occupants and ensure the efficient circulation of vehicle traffic within the site by identifying vehicular entry points and directing vehicles to their on-site destinations. Also, signage will enhance the pedestrian experience through the design of way finding components: directories, directional signage and destination identifiers.

As such, clear, concise, and easy-to-understand signage that is also visually appealing is vitally important for positive worker and visitor experiences at RIO VISTA. General design requirements for signage are as follows:

- i. A Master Sign Program for RIO VISTA shall be prepared and will requires a Site Development Permit approved by the City of Jurupa Valley. Master Sign Program shall be consistent with Section 9.245.040, *On-Site Structures and Signs*, of the City Municipal Code.
- ii. Minor changes to the Master Sign Program that are consistent with the Program intent may be approved administratively by the Community Development Director.
- iii. The following design considerations in this section should be reflected in the RIO VISTA Master Sign Program.
- iv. The Master Sign Program shall provide adequate and appropriate project, pylon, street, building, tenant identification, trail, path, and wayfinding signage for the anticipated variety of building sizes, designs, and uses to ensure that all project signage is designed with a single vision and theme, generally outlined below. All building signage should be in scale with and in proportion to, the primary building facades so that the signage is not ‘overpowering’ and does not dominate the overall appearance.
- v. The design of the signage shall reflect the type of business and/or uses through its design, material, shape and graphic form.
- vi. All signs shall be contained within the parcel to which applicable and shall be so oriented as to preclude hazardous obstructions to person and/or vision of pedestrians and/or vehicle operators.
- vii. Building occupant identification signage shall be in keeping with the character established for RIO VISTA with variations allowed to accommodate individual user identities/corporate branding standards.
- viii. The method of attaching the signage to the building should be integrated into the Master Sign Program.
- ix. Signs should not cover up windows or important architectural features.
- x. All conductors, conduits, tubing, crossovers, transformers, and other equipment for the illumination of signs shall be concealed and/or incorporated into the building architecture.
- xi. Exposed wiring, raceways, cords, plugs, or the like will not be permitted.
- xii. Direction signs may be located at any vehicular or pedestrian decision point.
- xiii. Vehicular direction signs shall clearly direct to destination anchors within RIO VISTA, on-site parking areas, and truck routes.
- xiv. Vehicular direction signs shall be consistent in size, shape, and design throughout RIO VISTA.



- xv. Typography on vehicular direction signs should be legible and have enough contrast to be read from an appropriate windshield viewing distance.
- xvi. Vehicular direction signs shall incorporate reflective vinyl copy for night-time illumination.
- xvii. Freestanding signs and pylon signs are permitted and may consist of the project's name, project's logo, tenant logos, and/or tenant text.

2. LIGHT INDUSTRIAL AND BUSINESS PARK LANDSCAPE GUIDELINES

- a. The landscape plans required for submission by the Developer to the City of Jurupa Valley must be prepared by a registered landscape architect licensed in the State of California.
- b. Water-wise native and drought-tolerant adapted plants should be used to provide a visual transition from the surrounding uses in the RIO VISTA community.
- c. Property owners shall be responsible for construction of the landscape on their own site and for the construction of certain streetscape frontages. Certain sloping streetscape frontages, notably only those with slopes over 5 feet in height, will be installed and maintained by the Master Property Owners' Association.
- d. Landscape elements within the front of a building or visible from the public right-of-way shall be complementary to streetscape landscape and chosen from the appropriate plant palette.
- e. When development occurs 'out of phase' or after landscape has been installed by others, plant material sizes within the street parkway shall be upgraded to match existing plant material sizes.
- f. The landscape plan for each parcel shall reinforce a strong sense of arrival by utilizing the entry/access tree(s) specified for the street onto the site along the entry drive.
- g. Along the eastern edge of development, berms and/or evergreen tree masses may be placed along the rear property lines of all parcels with east-facing parking lots and/or truck loading docks. The berms and/or evergreen trees shall serve to partially screen and visually soften the vehicular use areas from the off-site residential uses located to the east.
- h. All permanent irrigation systems are to be below ground, except on slopes, and fully automatic. Slopes may have a permanent above-ground irrigation system; however, all irrigation lines within 5.0 feet of the toe of slope shall be buried. Use of water conserving systems including, but not limited to, drip irrigation and moisture sensors, etc. is strongly encouraged. Irrigation heads shall be adjusted to minimize overspray and run-off. All irrigation heads adjacent to paved areas, curbs, and turf shall be of the pop-up type. Irrigation system and design shall comply with the City of Jurupa Valley requirements.
- i. The landscape plans required for submission by the Developer to the City of Jurupa Valley must be prepared by a registered landscape architect licensed in the State of California.
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- q. Backflow control devices are to be located to minimize their adverse visual impact. In addition, such control devices shall be screened by shrubs.
- r. Undeveloped sites, or portions of sites, held in reserve for future development need not be irrigated or fully landscaped. These areas shall be, at a minimum, seeded with a drought resistant mix to hold down weed growth and to minimize erosion. The use of temporary on-grade irrigation systems is permitted in these areas. All public right-of-ways/rights-of-way and required setback areas must be landscaped in a 'permanent' manner within one year of the completion of construction of the public right-of-way.
- s. Landscape installation must be in place in accordance with the City of Jurupa Valley guidelines prior to final building permit inspection.
- t. Specify landscape plans be prepared by a landscape architect licensed in the State of California.
- u. Approved landscape plans may not be altered without prior approval of the Community Development Director.

3. ADDITIONAL GUIDELINES FOR LIGHT INDUSTRIAL & BUSINESS PARK USES

This section sets forth additional guidelines that address considerations unique to all uses permitted within the Light Industrial and Business Park PAs within RIO VISTA. These guidelines apply to the design of building sites in PAs 12 through 16 which are intended to accommodate light industrial and business park use(s).

- a. Locate the office portion of warehouse buildings at the corner(s) of the building. For buildings adjacent to 20th Street and other public streets, orient the office toward these roads to provide visual interest from the public roadway.
- b. Orient and screen elements such as trash enclosure areas, loading bay doors, and service docks in ways that minimize their visibility from 20th Street and other public streets.
- c. Site design shall specifically address the needs of pick-up, delivery, and service vehicles related to Light Industrial and Business Park land uses.
 - i. Design interior driveways and drive aisles to provide adequate stacking and prevent queuing of vehicles on public streets. Position guardhouses and gates sufficiently inside the site to allow for a minimum of one (1) tractor trailer truck to queue in front of the guardhouse or gate off the public street. Additional or reduced queuing space may be deemed necessary by a building-specific queuing analysis based on the expected traffic volumes of the building occupant.
 - ii. Locate and design service entrances so they do not interfere with owner/tenant/customer access.
 - iii. Design loading areas to provide for tractor trailer backing and maneuvering on-site and not from a public street.
 - iv. Provide appropriate on-site service vehicle parking/turnouts in an efficient, non-obtrusive location appropriate to the scale and needs of the development.
 - v. Vehicle loading/unloading when parked, shall not impede normal traffic flow.
- d. Architectural design of Light Industrial and Business Park buildings may be utilitarian in form; however, the design should complement RIO VISTA's overall design theme.
- e. Textured forms, reveals, or scoring on concrete tilt-up panels is recommended for visual relief and to create a base and cornice expression; however, smooth panels with color variation may be used in lieu of textured finishes.
- f. Use primary roof forms that are flat or gently sloping. The ridge line elevation of the primary roof form should not exceed the parapet wall. Change of parapet height is strongly encouraged.
- g. Avoid the use of arched gable, hip and shed roof forms as a primary roof form. These roof forms may be used as a secondary/accent roof form.
- h. With the exception of solar panels, screen all rooftop mounted equipment, where required, from public view using materials complementary to those used on the main structure.
- i. Interior design, aisles widths, access locations and dimensions are subject to Engineering review and approval at project specific application submittal.

V. SPECIFIC PLAN ADMINISTRATION

A. MINOR MODIFICATIONS TO THE SPECIFIC PLAN

The following are considered minor modifications to the Specific Plan that may be processed administratively and may not require further review under CEQA at the discretion of the Community Development Director. Refer to Section 9.240.440 of the City of Jurupa Valley's Municipal Code (JVMC) for procedures regarding applications for modifications to approved permits.

1. Minor modifications to this Specific Plan text and graphics which do not substantially change the intent of the section of the RIO VISTA Specific Plan being modified.
2. Changes to the target building square footage for any or all of the Planning Areas provided that the overall maximum square footage within this Specific Plan is not exceeded.
3. Construction of buildings across Planning Area (PA) boundaries within the same Land Use Designation which therefore cross over into adjacent PAs, subject to all of the applicable standards and guidelines contained in Chapter III, *Permitted Uses and Development Standards*, and Chapter IV, *Design Guidelines*, of this Specific Plan. Buildings constructed across PA boundaries shall not, by themselves, trigger the requirement for a Substantial Conformance.
4. Minor modification of design criteria such as paving treatments, architectural details, landscape treatments, fencing, lighting, and entry treatments when determined by the Community Development Director to be consistent with the design guidelines in this Specific Plan.
5. Final infrastructure facility sizing and precise location of water, sewer, and drainage improvements which must be approved by the City of Jurupa Valley and RCSD.
6. Modifications to public or private roadway ROW design, when such modifications are approved by the City of Jurupa Valley.
7. Modifications to landscape, wall material, wall alignment, and streetscape which are determined by the Community Development Department to be consistent with the Design Guidelines contained in this Specific Plan, and in substantial conformance with all discretionary permit approvals.
8. Modifications to Light Industrial and Business Park Architectural Design Guidelines, such as variation of materials, colors, windows, doors, signage, and/or walls and fences when determined by the Community Development Director to be consistent with the design guidelines in this Specific Plan.
9. Modifications to any architecture, plotting, and building size that have been previously reviewed and approved through the design review process, and in substantial conformance with all discretionary permit approvals.
10. Any use that is not specifically listed in the Permitted Uses tables may be considered a permitted or conditionally permitted use provided that the Community Development Director finds that the proposed use is substantially the same in character and intensity as

those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

11. Expansions or reductions of the net or gross acreage of a given residential PA which does not result in the maximum density of the PA's Land Use Designation being exceeded or reductions in Open Space Conservation (OS-C) area.
12. Modifications of supplemental design guidelines when determined by the Community Development Director to be consistent with Section IV.B.2, *Design Guidelines*, in this Specific Plan.
13. Changes to the Phasing Plan, provided infrastructure is available to serve the phase as determined by the Public Works Director.
14. Final infrastructure facility sizing and precise location of water, sewer, and storm drainage improvements when directed by the City Engineer.
15. Roadway alignment when the changes are warranted.
16. Grading of manufactured slopes in Open Space-Conservation PAs 21A through 21E.
17. Modifications of a similar nature to those listed above, which are deemed minor by the Director of the City of Jurupa Valley Community Development Department, because they are consistent with the Goals and intent of this Specific Plan and in conformance with the City of Jurupa Valley General Plan.
18. Any other proposed changes that are determined by the Community Development Director of the City of Jurupa Valley to be minor modifications.
19. Construction of buildings across abutting Planning Area (PA) boundaries 12, 13 and 15 is permitted, subject to the proposed use in the building(s) being permitted in both land uses (i.e., Light Industrial and Business Park) pursuant to Chapter III, Permitted Uses and Development Standards, of this Specific Plan. Buildings constructed across PA boundaries shall not, by themselves, trigger the requirement for a Substantial Conformance.

B. AMENDMENTS TO THE SPECIFIC PLAN

All Specific Plan modifications which do not meet the criteria of a Substantial Conformance as defined in this section or as determined by the Community Development Director of the City of Jurupa Valley shall be deemed to require a Specific Plan Amendment. A change in the number of dwelling units within any PA which results in a dwelling unit density greater than the maximum density for that PA, or which would result in the total number of dwelling units exceeding 1,697, would trigger the need for a Specific Plan Amendment, except in the event that PA 18 is developed with 56 DUs. Specific Plan Amendments may change any or all portions of the Specific Plan document.

In considering approval or disapproval of Specific Plan Amendments, the City Council shall find that the proposed Amendment is in compliance with each of the following:

1. The proposed Amendment is consistent with the General Plan and its Elements in effect at the time of submission; and,

2. The proposed Amendment does not result in an incompatibility with surrounding land uses with respect to use, development standards, density, or issues of health, public safety, or general welfare; and,
3. The proposed Amendment is consistent with the overall design character and general community structure of the Specific Plan; and,
4. The proposed Amendment, with appropriate mitigation measures, is not likely to increase environmental impacts beyond those identified and mitigated in the RIO VISTA Specific Plan EIR, or substantially and avoidably injure significant wildlife, or their habitat. Otherwise, the proposed Amendment must be analyzed in accordance with the California Environmental Quality Act.

C. IMPLEMENTING PROJECTS

Development of the RIO VISTA Specific Plan will occur through the processing of a variety of implementing projects, including, but not limited to tract maps, parcel maps, Site Development Permits (SDP), Conditional Use Permits (CUP), and/or site plans. All implementing projects shall be submitted to the Community Development Department for review and processing. The Community Development Department shall review all plans for consistency with the City of Jurupa Valley General Plan, RIO VISTA Specific Plan document and with the JVMC:

1. Park, open space, and trail plans shall be submitted and approved concurrently with associated tentative tract map applications.
2. Tentative tract maps shall include sufficient open space, parks, and trails.
3. Planning Permits (e.g., SDP, CUP) shall be processed in accordance with the JVMC. If the use is not expressly listed as permitted or conditionally permitted by this Specific Plan, the use is prohibited unless the Community Development Director determines the use is substantially similar in character and intensity to the list of permitted and conditionally permitted uses in the Specific Plan.
4. Any application for an SDP shall be processed in accordance with the procedures established herein and with Section 9.240.330, *Site Development Permits*, of the JVMC, as applicable.
5. The RIO VISTA Specific Plan provides the following framework for implementing projects within the Light Industrial and Business Park PAs:
 - a. Facilities related to industrial, manufacturing, research and development, may include storage and shipping, but such activities are only permitted as an ancillary use to manufacturing operations. These ancillary uses may include the outdoor storage of fleet vehicles, and storage, assembly, and/or the processing of manufactured goods and materials, prior to their distribution to other facilities, subject to: (1) the approval of one or more of the following entitlements, SDP CUP, and/or General Plan Amendment (GPA) as stipulated below, and (2) the uses identified in Table III-10, *Light Industrial and Business Park – Permitted Uses* within Section III, *Permitted Use and Development Standards*, of this Specific Plan.

- i. Manufacturing, assembly, or other allowed uses with ancillary facilities, including but not limited to, storage/shipping, and other operations that support the primary use,, are permitted subject to a SDP, provided that the qualifying manufacturing or assembling operations occur within the same structure, site, or within the same Light Industrial and/or Business Park PA.
 - ii. Manufacturing with ancillary storage and shipping activities or other listed ancillary permitted uses, including the processing of manufactured goods and materials, prior to their distribution to other facilities, may be allowed, subject to Table III-10, *Light Industrial and Business Park – Permitted Uses*, within Section III, *Permitted Uses and Development Standards*, of this Specific Plan.
- b. Manufacturing with ancillary shipping and/or other similar land uses are required to provide a combination of setbacks, berming, and landscaping, per the Rio Vista Specific Plan Development Standards provided in Sections III.D (Light Industrial Development Standards) and III.E (Business Park Development Standards), and the design criteria provided in Section IV.E (Light Industrial & Business Park Architectural Design Guidelines) to establish a physical and visual buffer from abutting residential off-site land uses.

D. DENSITY TRANSFERS

The Specific Plan area shall be developed with a target of 1,697 dwelling units, or 1,753 dwelling units if PA 18 is developed with residential land uses, on 917.3 acres, as illustrated in Figure II-1, *Land Use Plan*. Each residential PA is assigned a “Maximum Density” and a “Target DUs” total in Table II-1, *Detailed Land Use Summary*. The “Maximum Density” is the maximum density permitted for the PA’s land use designation, as defined by the City of Jurupa Valley General Plan. The “Target DUs” total is the number of dwellings per PA proposed by this Specific Plan and as described in Table II-1, *Detailed Land Use Summary*.

The proposed number of dwelling units contained in an implementing subdivision application may be more or less than the “Target DUs” specified in any PA without necessitating the preparation of a Specific Plan Amendment provided that:

1. The proposed dwelling unit density within each PA within the implementing subdivision is less than the Maximum Density of each of the affected PAs.
2. The maximum number of dwelling units for the entire Specific Plan is not exceeded when all the proposed units are considered.

VI. IMPLEMENTATION

A. IMPLEMENTATION ACTION PLAN

The RIO VISTA Specific Plan has been prepared pursuant to the provisions of California Government Code § 65451, Article 8, authorizing local government agencies the authority to prepare specific plans of development for any area covered by a General Plan, for the purpose of establishing systematic methods of implementation of the agency's General Plan. California Government Code §§ 65450 through 65456 establish the authority to adopt a specific plan, identify the required contents of a specific plan, and mandate consistency with the City's General Plan. According to § 65451, a specific plan shall include text and a diagram or diagrams that specify all of the following details:

- ☐ The distribution, location, and extent of the land uses, including open space, within the area covered by the plan (refer to Section II, *Specific Plan*).
- ☐ The distribution, location, extent, and intensity of major components of the transportation, sewage, water, drainage, and other essential facilities located within the area covered by the plan and are necessary to support the land uses described in the plan (refer to Section II, *Specific Plan*).
- ☐ The standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable (refer to Section II, *Specific Plan*, Section III, *Permitted Uses and Development Standards*, and Section IV, *Design Guidelines*).
- ☐ A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the items listed above (refer to Section V, *Specific Plan Administration*).

In response to government requirements, this Specific Plan has been prepared to provide the essential link between the policies and objectives of the City of Jurupa Valley General Plan and the development plan for RIO VISTA. By functioning as a regulatory document, the RIO VISTA Specific Plan provides a means to implement the City of Jurupa Valley's General Plan within the boundaries of RIO VISTA. In this regard, development plans and entitlements for RIO VISTA shall substantially conform to the regulations and guidelines set forth in this document, as well as applicable City regulations. Where the Specific Plan is silent on a regulation defined elsewhere by the City, the City regulation shall be in force. This Specific Plan identifies site-specific design requirements applicable within RIO VISTA and, as such, adherence to this Specific Plan ensures that the community meets or exceeds City standards for environmental safety, infrastructure, and site planning, while providing provisions for maintenance of aesthetic quality and community identity.